

**PROGRAMMATIC AGREEMENT
AMONG THE NATIONAL PARK SERVICE,
MARYLAND HISTORICAL TRUST, AND
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION
REGARDING THE REHABILITATION OF THE CLARA BARTON NATIONAL
HISTORIC SITE,
GEORGE WASHINGTON MEMORIAL PARKWAY,
GLEN ECHO, MARYLAND**

WHEREAS, this Programmatic Agreement (PA or Agreement) is made by and among the National Park Service (NPS), the Maryland Historical Trust, which is the Maryland State Historic Preservation Office (MD SHPO), and the Advisory Council on Historic Preservation (ACHP) (referred to collectively herein as the Signatories or individually as a Signatory) pursuant to Section 106 of the National Historic Preservation Act (NHPA) 54 U.S.C. § 306108 and the implementing regulations at 36 CFR part 800, regarding the rehabilitation of the Clara Barton National Historic Site (Undertaking); and

WHEREAS, NPS is the federal agency that has administrative control and custody of the George Washington Memorial Parkway (GWMP) of which the Clara Barton National Historic Site (CLBA) in Glen Echo, Montgomery County, Maryland, is a unit and includes the Clara Barton House and its immediate surrounds, which was designated a National Historic Landmark (NHL) in 1965 and listed in the National Register of Historic Places in 1974, and is also listed on the Maryland Inventory of Historic Properties; and

WHEREAS, CLBA has been determined to be nationally and locally significant under Criteria A, B, and C in its National Register documentation, due to its association with the American Red Cross, Clara Barton, and American vernacular architecture; and

WHEREAS, CLBA has been documented in a Historic Structure Report (2004), a Historic American Building Survey (1976 and 2003), a Cultural Landscape Inventory (2011), and a Cultural Landscape Report (2023); and

WHEREAS, CLBA was operated by NPS as a historic house museum but closed to the visiting public in 2015 due to several ongoing maintenance projects, water damage, and climate control issues. The museum collection, known as the Clara Barton Collection, was moved into storage at the NPS Museum Resource Center (Landover, Maryland) where it remains, though limited tours of the unfurnished house resumed in 2018; and

WHEREAS, the proposed Undertaking (Undertaking) will address structural, utility systems, life safety, and accessibility upgrades, as well as limited site work, in order to remediate deficiencies and enhance functionality; and

WHEREAS, Section 110(f) of the NHPA (54 U.S.C. § 306107) and 36 CFR § 800.10 require federal agencies to minimize the adverse effects of an Undertaking to the maximum extent possible at NHLs, including CLBA; and

WHEREAS, NPS plans to follow certain standards when executing the Undertaking, including the *Secretary of the Interior's Standards for Rehabilitation*, the *Architectural Barriers Accessibility Act Accessibility Standards*, the *International Existing Building Code (IEBC)* (2024), and the *Guidelines for the Treatment of Cultural Landscapes*, which were considered in consultation and in the development of the Construction Documents, Appendix C; and

WHEREAS, specifically, the Schematic Design Report (2023) informed requirements for repairs and structural upgrades necessary to meet the *IBEC* for sheer strength and desired occupancy loads, as shown in Appendix C; and

WHEREAS, NPS defined the Undertaking's Area of Potential Effects (APE) as the area in which both direct physical effects and visual effects may be experienced in and around CLBA. The area of physical impacts includes all staging areas, lie-down areas for equipment and materials, and areas of potential ground disturbance. The APE also includes the area within which visual, auditory, and/or atmospheric effects could diminish the integrity of historic properties for which setting, feeling, and association are defined as aspects of such integrity. The areas of physical impacts and visual, auditory, and/or atmospheric impacts, and all known historic properties within its bounds, are identified on the map presented in Appendix A; and

WHEREAS, NPS identified four (4) historic properties within and adjacent to the APE and of these, CLBA (NR 66000037) consists of a historic building that was Ms. Clara Barton's house and the original American Red Cross Headquarters, a nine (9) acre landscape, and the Clara Barton Collection, all of which are contributing features to the historic property. CLBA is adjacent to the Clara Barton Parkway, a listed historic property and a contributor to the GWMP historic district listed in the NRHP (1995: NR 95000605), the Glen Echo Park Historic District listed in the NRHP (1984: NR 84001850), and the Cabin John Right-of-Way / Brookmont Trolley Right-of-Way Historic District listed in the Maryland Inventory of Historic Properties (1979: M:35-31); and

WHEREAS, NPS applied the criteria of adverse effect pursuant to 36 CFR § 800.5 and found that the Undertaking will have an adverse effect on historic properties, specifically due to the loss of integrity to the historic building that will diminish materials, workmanship, and design of CLBA; and

WHEREAS, in 1978, NPS identified archeological site 18MO154, which has Pre-Contact and historic components within the APE. As analysis is in progress to evaluate the significance and National Register eligibility of this site, and the Undertaking's effects to it cannot be fully determined prior to the approval of the Undertaking, NPS is utilizing this PA to resolve known

adverse effects to other historic properties (i.e., to the NHL) while also setting forth a consultation process in accordance with 36 CFR § 800.14(b)(1)(ii) and (b)(3); and

WHEREAS, per 36 CFR § 800.3(c)(3), NPS formally initiated consultation with MD SHPO for the Undertaking on June 7, 2022 and received a response to this notification on July 7, 2022, and submitted an adverse effect finding and intention to prepare an agreement to resolve the adverse effect on June 3, 2024, and received concurrence from MD SHPO on July 15, 2024; and

WHEREAS, in 2022, NPS invited the Town of Glen Echo, Montgomery County, Maryland-National Capital Park and Planning Commission, and the National Capital Planning Commission to consult as representatives of local governments, in accordance with 36 CFR § 800.3(f)(1); and

WHEREAS, in 2022, NPS identified the American Red Cross, Glen Echo Park Partnership for Arts and Culture, Heritage Montgomery, Maryland Women’s Heritage Center, Montgomery Preservation, National Parks Conservation Association, National Trust for Historic Preservation, Piscataway Indian Tribe, Piscataway-Conoy Tribe, and Preservation Maryland as having a potential interest in the Undertaking and invited these organizations to consult in accordance with 36 CFR § 800.2(c)(5); and

WHEREAS, on October 31, 2022, NPS invited the federally-recognized Accohannock Indian Tribe, Delaware Nation, Rappahannock Indian Tribe, Catawba Nation, Eastern Shawnee of Oklahoma, Seneca Cayuga Nation, and Pamunkey Indian Tribe to participate in government-to-government consultation in accordance with 36 CFR § 800.2(c)(2)(iii)(C) and received a response from Catawba Nation on July 12, 2024; and

WHEREAS, NPS received requests from Bordertown Historical Society, Maryland Women’s Heritage Center, National Collaborative for Women’s History Sites, Society of Civil War Historians, Heather Huyck, Julia F. Irwin, Jacob Remes, Kathryn Sklar, Judith Wellman, Cassandra Good, Pearl J. Young, Tara Ross, Rosie Click, Nancy Hewitt, Katherine Jellison, and Elizabeth Regine to serve as consulting parties, and approved these requests per 36 CFR § 800.3(f)(3); and

WHEREAS, NPS formally initiated consultation with the National Historic Landmarks (NHL) Program, a division of the NPS and a representative of the Secretary of the Interior, on July 22, 2024, in accordance with 36 CFR § 800.10(c), and the NHL Program agreed to participate in consultation on July 30, 2024; and

WHEREAS, NPS notified ACHP of the adverse effect determination on July 31, 2024, in accordance with 36 CFR § 800.6(a)(1), provided the documentation specified in 36 CFR § 800.11(e), and the ACHP elected to participate in consultation pursuant to 36 CFR § 800.6(a)(1)(iii) in a response dated August 16, 2024; and

WHEREAS, due to the presence of Pre-Contact resources within site 18MO154, NPS shared the results of the 2024 Phase IB archeological investigation with the Tribal Historic Preservation Officer (THPO) for the Catawba Nation and tribal representatives for the other Tribes listed above (Consulting Tribes) with an invitation to each to continue consultation to seek to avoid effects to sites of religious or cultural significance; and

WHEREAS, beginning in 2022, NPS invited input from the Consulting Parties and hosted Consulting Party meetings on November 16, 2022; May 1, 2023; July 31, 2023; January 30, 2024; July 9, 2024; and February 19, 2025, to describe the proposed project, discuss design alternatives, present the Undertaking and Assessment of Effects finding, and discuss ways to resolve the adverse effects of the Undertaking; and

WHEREAS, in consultation with the Consulting Parties NPS identified measures to avoid and minimize adverse effects to CLBA from the Undertaking, such as concealing structural upgrades, repairing and replacing materials in kind, and salvaging original building fabric when possible. These measures are enumerated in Appendix B and incorporated into the Construction Documents (Appendix C); and

WHEREAS, independent from consultation on this Undertaking, NPS is conducting a public forum to collect input from interested external participants to inform ongoing development of an interpretive plan for the site and exhibits of the CLBA; and

WHEREAS, in coordination with consultation on this Undertaking, NPS developed an Environmental Assessment (*Rehabilitate Clara Barton National Historic Site Environmental Assessment*) published on NPS's Planning, Environment, and Public Comment (PEPC) system on July 15, 2025, pursuant to the National Environmental Policy Act (NEPA) of 1969, as amended (42 U.S.C. § 4331 et. seq.) and the implementing regulations (40 CFR Parts 1500-1508). The Undertaking is referred to as the Preferred Alternative in the EA, and a No Action Alternative was also described in the EA; and

WHEREAS, NPS acknowledges that during the EA public comment period, which was coordinated with Section 106 compliance and closed September 9, 2025, comments largely supported selection of the Preferred Alternative; and

WHEREAS, informed by consultation and public comments, NPS anticipates selecting the Preferred Alternative in the forthcoming Finding of No Significant Impact (FONSI), and

NOW THEREFORE, the Signatories agree that the Undertaking shall be implemented in accordance with the following stipulations to take into account the effect of the Undertaking on historic properties.

STIPULATIONS

The NPS shall ensure the following measures are carried out:

I. GENERAL REQUIREMENTS

- a. **Applicable Codes and Standards.** The Undertaking shall be executed by the NPS substantively in accordance with the Construction Documents (Appendix C) and 2023 *Cultural Landscape Report: Rehabilitate the Clara Barton National Historic Site* which consider the recommended approaches contained in the *Secretary of the Interior's Standards for Rehabilitation*, the *Architectural Barriers Accessibility Act Accessibility Standards*, and the *International Existing Building Code (IEBC)* (2024) and the *Guidelines for the Treatment of Cultural Landscapes*. All archeological investigations and studies conducted pursuant to this Agreement shall be consistent with the *Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation* (48 Federal Register 44716-44742, September 1983), the ACHP's *Section 106 Archeology Guidance* (June 2007), and MHT's *Standards and Guidelines for Archeological Investigations in Maryland* (2022) (Applicable Standards and Codes).
- b. **Personnel Qualifications.** NPS shall ensure that all historic preservation and/or archeological work performed on its behalf pursuant to this Agreement shall be accomplished by, or under the direct supervision of a person or persons who meet(s) or exceed(s) the pertinent qualifications in the Secretary's Professional Standards (*Archeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines [As Amended and Annotated]*, 48 FR 44716, formerly published in 36 CFR § 61), the *Standards and Guidelines for Architectural and Historical Investigations in Maryland*, and the *Standards and Guidelines for Archeological Investigations in Maryland*, or subsequent adopted modifications of the *Standards* at the time of the action (Qualified Personnel).

II. AVOIDANCE AND MINIMIZATION

In the execution of the Undertaking, NPS shall avoid and minimize the Undertaking's adverse effect on historic properties by ensuring that the Undertaking is executed in accordance with Construction Drawings, as well as the Applicable Standards and Codes, and with direct supervision by Qualified Personnel, and also in the following ways:

- a. **Protection of Historic Interior Features:** NPS shall ensure that any historic interior historic building materials that are not specifically addressed (e.g., with notes and/or specifications) in the Construction Drawings will be protected during construction with a general note on the first page of the Construction Drawings and caution tape on site during construction.

- b. **Construction Best Practices**: The NPS shall minimize ground-disturbing activities to the extent practicable during construction, including using existing paved areas for equipment, matting or other forms of ground protection, fencing, and construction methods that minimize land disturbance. Best management practices shall be utilized in staging and equipment storage, and construction access, to minimize ground disturbance and avoid adverse effects to historic properties.
- c. **Vegetation Management**: Separate from the limited site work included in the Undertaking, as shown in the Construction Drawings, the NPS shall limit any additional non-historic vegetation removal within the APE to the extent practicable and shall use best practices to protect existing historic vegetation within construction zones and staging areas.

III. MITIGATION

- a. **Historic Property Documentation**
 - i. **HABS Update**: Within six (6) months of execution of this Agreement, and prior to demolition, removal, or alteration of any historic features of the CLBA NHS, NPS shall document the front porch according to the NPS Historic American Buildings Survey (HABS) Level I standards and submit a draft to Signatories for review and comment, consider comments timely received, and timely respond to them in writing prior to finalizing and submitting the documentation to HABS. Upon such submission, notice of which shall be provided to the MD SHPO in writing, NPS shall commence construction via a notice to proceed. The documentation should build upon and add to the existing HABS documentation for CLBA. The documentation shall focus on the porch's changing appearance over time as well as the sources used to design the new porch construction. HABS Level I documentation shall include:
 - 1. A detail set of measured drawings depicting existing conditions of the porch as well as the design of the historic porch to be reconstructed.
 - 2. Updated large-format photographs clearly depicting the appearance of the porch.
 - 3. A written history and description that relies on primary sources to the greatest extent possible, with a timeline of the construction history of the porch.
 - ii. **NR/NHL Update**: Following substantial completion of construction and before this Agreement expires, NPS or a qualified consultant meeting the *Secretary of the Interior's Qualification Standards* shall research and

update the 1974 CLBA National Register Nomination and 1965 NHL Nomination. Among other items, the updated NR and NHL nominations shall address the period of significance, the NHL boundary, physical changes that have occurred since completion of the existing nominations, and the elements that should be considered contributing features. The NHL nomination must be a complete replacement nomination. The draft nominations shall be submitted by NPS to the MD SHPO and the NPS National Capital Region/NHL Program Coordinator for review and comment, NPS shall consider comments timely received, and timely respond to them in writing prior to finalizing and submitting them to the MD SHPO and NPS National Capital Region NHL Program Coordinator and the Keeper of the National Register.

iii. **Historic Structure Report:** NPS shall complete a Historic Structure Report - Record of Treatment (HSR Part 3) that captures the physical changes to CLBA, for this Undertaking and any past projects that were completed after the 2004 HSR was compiled. This report shall include, at a minimum:

1. A summary of the documentation previously developed on the physical changes to the structures on the site.
2. Documentation of the intent of the Undertaking, the way in which project components were approached and accomplished, and information about the history of the Clara Barton House based on physical evidence discovered during construction.
3. Re-evaluation of the 2004 Historic Structure Report's analysis of the significance of individual rooms and other architectural elements, based on a combination of each room's physical integrity to the period of significance and its association with the building's historical significance.
4. Documentation shall also include copies of any relevant technical data such as field reports, material data sheets, field notes, correspondence, accounting spreadsheets, and contract summaries, as applicable.

The NPS shall provide the draft HSR Part 3 to the Signatories for review and comment. The NPS shall take into account any comments received within the 30-day review period from the Signatories, revising the draft as appropriate.

After the Signatories' review and comment period noted above, within six (6) years of substantial completion of construction, and at least one (1) year prior to the expiration of this Agreement, the NPS shall provide to the MD SHPO two (2) hard, comb-bound copies and one (1) electronic copy in Adobe Portable Document Format (.pdf) of the final HSR Part 3 report.

NPS shall also upload the report to the Integrated Resource Management Applications (IRMA) digital repository to be made available to the public.

- b. **Landscape Treatment Plan:** Beyond the limited site work included in the Undertaking, and as funds allow, NPS shall develop and implement recommended landscape treatments for CLBA consistent with the 2023 *Cultural Landscape Report: Rehabilitate the Clara Barton National Historic Site* and follow the review process described in Stipulation IV.b.
- c. **Interpretation:**
 - i. **Temporary Signage:** Prior to NPS commencement of construction via a notice to proceed, NPS shall develop and install temporary outdoor interpretive signage in consultation with MD SHPO, consisting of approximately two (2) signs. The temporary interpretive signage shall address the history of CLBA, including its construction and use. The signage shall also explain the Undertaking, including the purpose, need, and intended outcome. The signage shall include relevant historic and current images. The NPS shall provide the draft text and design of the signage, as well as proposed locations, to the Signatories for review and comment. The NPS shall address all comments received from Signatories within thirty (30) calendar days of receipt of the review materials. Signage shall be installed at key locations within sight of the project with six (6) months of the execution of this Agreement and shall remain through substantial completion of construction.
 - ii. **Photo Documentation of the Rehabilitation:** NPS shall photograph the progress of the construction work each day to produce a time lapse video. Within six (6) months of substantial completion of construction, the video shall be made available to the public online and hosted by NPS and shall remain available at least through the duration of this Agreement.
 - iii. **Virtual Tour/Film:** Within two (2) years of substantial completion of construction, NPS shall prepare a virtual tour/film of the completed rehabilitation of the Clara Barton National Historic Site building and landscape, utilizing language from the temporary interpretive signage, as reviewed by MD SHPO. The virtual tour/film shall be available to the public online and hosted by the NPS and shall remain available at least through the duration of this Agreement.
 - iv. **Permanent Interpretation of the Rehabilitation:** Within three (3) years of substantial completion of construction, and at least through the duration of this Agreement, NPS shall develop, install, and maintain interpretive

signage on site at CLBA, and/or virtually on the CLBA NPS website, to highlight features of the historic property, including:

1. The changes made to the porch during the Undertaking and the archival sources consulted to design the new porch.
 2. The historic character of the exterior and interior CLBA, its original design and construction, and the history of building modifications up to and including the present day (e.g., what elements have been removed or replaced, what elements remain).
- v. **Site 18MO154:** NPS shall consult with the Consulting Tribes to determine the interpretive potential of the Pre-Contact findings of the archeological surveys of site 18MO154, as appropriate, and will coordinate efforts with NPS compliance with the 1979 Archaeological Resources Protection Act and Section 304 of the NHPA. If interpretation related to Tribes' presence on the landscape is so developed, NPS may also share it with the Signatories, so as to coordinate such interpretation with the CLBA interpretation efforts.
- d. **Restoration Plan:** In consultation with the Signatories, and other Consulting Parties, NPS shall identify additional interior historic building materials that are candidates for restoration, to be completed on site or removed, restored, and re-installed by NPS in accordance with the *SOI's Standards for Rehabilitation or Restoration*.
- i. Within one (1) year of execution of this Agreement, NPS shall prepare a draft priority list of specific materials proposed for restoration, which shall be shared with Consulting Parties for review and comment per the process described in Stipulation IV.b.
 - ii. NPS shall prepare a Restoration Plan within three (3) years of execution of this Agreement. The Plan shall identify materials for restoration and provide proposed treatments for each one. NPS shall finalize the Plan per the process described in Stipulation IV.b., and endeavor to complete the work therein as part of the Undertaking.

IV. DESIGN MODIFICATION

NPS shall ensure that the Undertaking is executed in accordance with the Construction Drawings (Appendix C).

- a. **Design Modifications:** If the NPS desires any additions thereto or deletions therefrom from the final Construction Drawings that affects the historic features of CLBA, NPS shall furnish the Signatories by digital submission a statement of the requested changes, additions and/or deletions, with appropriate plans, specifications or other documentation for review and comment for no more than

fifteen (15) calendar days. If the Signatories do not respond in writing within that period or request up to an additional fifteen (15) calendar days to prepare a response, NPS shall move forward with no further consideration. NPS shall take into consideration any written comments received from the Signatories and shall notify the Signatories of its intentions, in writing, within five (5) calendar days of receiving the Signatories' comments. If comments are not resolved through consultation, NPS shall consult with the ACHP and, if necessary, seek resolution in accordance with Stipulation VII.f.

- b. **Separate Specialized Documents**: The NPS shall provide the Signatories a separate opportunity to review and comment on specialized planning documents associated with the Undertaking, such as a Landscape Treatment Plan and Restoration Plan, as follows:
 - i. The NPS shall provide these documents by digital submission to the Signatories, who shall have a thirty (30) calendar day review timeframe to provide written comments.
 - ii. The NPS shall take into consideration all comments received within thirty (30) calendar days, and consult with the Signatory(ies), as needed.
 - iii. If any comments are not resolved through consultation, NPS shall consult with the ACHP and then seek resolution in accordance with Stipulation VII.f.

V. ARCHEOLOGICAL SITE 18MO154

- a. After completion of the archeological investigations at 18MO154, the NPS shall submit to the MD SHPO and the Consulting Tribes, as appropriate, for their review and comment a technical report that contains the results of Phase II archeological investigation and an evaluation of NR eligibility. If 18MO154 is NR eligible, the NPS will also provide an assessment and determination of effect of the Undertaking on this site.
 - i. The NPS shall provide by digital submission the Phase II archeology report to MD SHPO and Consulting Tribes. Printed hard copy shall be provided only upon request of the MD SHPO or Tribal representative.
 - ii. The MD SHPO and Consulting Tribes shall have a thirty (30) calendar day review and comment period starting upon receipt. If no comments are received within the thirty (30) day review period, the NPS shall proceed with no further consideration.
 - iii. The NPS shall address all comments received within the thirty (30) day review period and provide final reports in an agreed upon format to each party.
 - iv. If the MD SHPO and Consulting Tribes concur with the recommendations, the NPS shall proceed with implementation of the recommendations. If the MD SHPO and Tribes do not concur, the parties

shall consult further to resolve the issues following the provisions for dispute resolution in Stipulation VII.f of this Agreement.

- b. The NPS shall provide the Signatories and the Consulting Tribes with the agency's determination of NR eligibility and finding of effect for archeological site 18MO154.
- c. If archeological site 18MO154 is ineligible for NR listing, consultation with MD SHPO on archeological resources is complete.
- d. If the Undertaking has no adverse effect to archeological site 18MO154, the NPS, in consultation with the Signatories and Consulting Tribes shall develop a Protection, Mitigation and Archeological Monitoring Plan for the site.
- e. If the Undertaking has an adverse effect on archeological site 18MO154, the NPS shall consult with the Signatories and Consulting Tribes, as appropriate, to identify measures to resolve the adverse effect, develop a Resolution Plan, and carry out those measures in accordance with the Resolution Plan. Resolution of an adverse effect may be achieved through data recovery, archeological monitoring, research and/or interpretive project, or any other commensurate strategy agreed upon by the Signatories and Consulting Tribes, as appropriate.
- f. If the mitigation activities include Data Recovery, the timing of this work shall be determined in consultation with the Signatories and Consulting Tribes, as appropriate, and, when agreed upon, may include investigations concurrent with construction activities.
 - i. NPS shall consult with MD SHPO and the Consulting Tribes on the development of the Phase III Data Recovery Plan. NPS shall provide the draft Data Recovery Plan to the MD SHPO and the Consulting Tribes for a thirty (30) calendar day review and comment period prior to initiating archeological investigations.
 - ii. All investigations shall follow the Applicable Standards and Codes and shall be conducted under the direct supervision of an archeologist that meets or exceeds the Professional Qualifications.

VI. UNANTICIPATED DISCOVERIES

If previously unidentified archeological sites or unanticipated effects to archeological historic properties are discovered in the APE during construction:

- a. NPS shall ensure that construction activity is immediately halted within a 50-foot radius of the discovery and interim measures (e.g., the use of tarps, flagging, fencing) are implemented to protect the discovery from looting and vandalism.

- b. For archeological historic properties, an archeologist meeting the Professional Qualifications (*Secretary of the Interior's Professional Qualifications Standards for Archeologists*) shall inspect the construction site to determine and document the extent of the discovery and provide recommendations regarding its NRHP eligibility and treatment.
- c. Within 48 hours of NPS's receipt of the notification of the unanticipated discovery, the NPS shall provide the Signatories, and for archeological historic properties Consulting Tribes, with its documentation of the discovery, evaluation of the NRHP eligibility of the discovery, and the measures the NPS proposes to take to resolve adverse effects. In making its official evaluation, the NPS, in consultation with the Signatories and Consulting Tribes, may assume the discovery to be NRHP-eligible for the purposes of Section 106 pursuant to 36 CFR § 800.13(c). The Signatories and Consulting Tribes shall respond within 48 hours after their receipt of NPS' submission of its official evaluation.
- d. NPS shall take into account the Signatories' and Consulting Tribes' recommendations on eligibility and treatment of the discovery, ensure that appropriate actions are carried out, and provide the Signatories and Consulting Tribes with a report on these actions after they have been implemented.
- e. Construction activities may proceed in the area of the discovery when the NPS has determined that implementation of the actions undertaken to address the discovery pursuant to Stipulation VI.d are complete.
- f. In the event an unanticipated discovery includes human remains, funerary objects, sacred objects, or objects of cultural patrimony, the NPS will comply with the Native American Graves Protection and Repatriation Act (NAGPRA, 25 U.S.C. 3001 *et seq.*) and the accompanying regulations at 43 CFR 10. Pursuant to an applicable NAGPRA Plan of Action or as otherwise required, the NPS will ensure that any human remains are left in situ, are not exposed, and remain protected while the park complies with relevant provisions of applicable Federal, State, and/or local laws.
- g. When applicable, the NPS will consider the principles within the ACHP's *Policy Statement on Burial Sites, Human Remains, and Funerary Objects*, dated March 1, 2023. In implementing the Agreement, the NPS will fulfill its obligation to consult with Tribes consistent with all relevant Executive Orders, Secretary's Orders, the Department of the Interior Departmental Manual, and NPS Director's Orders and Related Guidance. NPS recognizes and considers Indigenous

Knowledge in the Section 106 review process in accordance with the November 30, 2022, *Guidance for Federal Departments and Agencies on Indigenous Knowledge* issued by the White House Office of Science and Technology Policy and Council on Environmental Quality and the Departmental Manual (301 DM 7, *Departmental Responsibilities for Consideration and Inclusion of Indigenous Knowledge in Departmental Actions and Scientific Research*).

VII. ADMINISTRATION

- a. **Monitoring and Reporting**. By January 31 of each year, following the execution of this PA until it expires or is terminated, NPS shall provide the Signatories a summary report by e-mail or schedule a meeting, either virtually or as part of an on-site visit, detailing work carried out pursuant to its terms, which will promptly be made available to the Consulting Parties and the public upon written request to the NPS. Such report shall include any proposed scheduling changes, any problems encountered, and any disputes or objections received in NPS's efforts to carry out the terms of this PA. If a meeting is held in lieu of a report, meeting minutes will be e-mailed to the Signatories by NPS within one (1) month of the meeting and will promptly be made available to the Consulting Parties and the public upon written request to the NPS.
- b. **Anti-Deficiency Act**. The NPS obligations under this Agreement are subject to the availability of appropriated funds, and the stipulations of this Agreement are subject to the provisions of the Anti-Deficiency Act. The NPS shall make reasonable and good faith efforts to secure the necessary funds to implement this Agreement in its entirety. If compliance with the Anti-Deficiency Act alters or impairs the ability of the NPS to implement the stipulations of this Agreement, the NPS shall consult in accordance with the amendment and termination procedures found later in this Agreement.
- c. **Duration**. This Agreement shall become effective immediately upon signature of the ACHP, which shall retain a copy for its files. The Agreement shall expire ten (10) years from the date of the last signature. Prior to such time, the NPS may consult with the Signatories to reconsider the terms of the Agreement and revise or amend or extend the document as necessary.
- d. **Amendments**. This Agreement may be amended when such an amendment is agreed to in writing by the Signatories. Any amendments shall be effective on the date a copy signed by all Signatories is filed with the ACHP.
- e. **Termination**. If any Signatory to this Agreement determines that its terms shall not or cannot be carried out, that party shall immediately consult with the other Signatories to attempt to develop an amendment per Stipulation VII.d. If within

thirty (30) calendar days (or another period agreed to by all Signatories) an amendment cannot be reached, any Signatory may terminate the Agreement upon written notification to the other Signatories. Once the Agreement is terminated, and prior to work continuing on the Undertaking, NPS must either (a) execute a memorandum of agreement or another programmatic agreement in accordance with 36 CFR § 800.6 or (b) request, take into account, and respond to the comments of the ACHP under 36 CFR § 800.7. NPS shall notify the Signatories as to the course of action it shall pursue.

- f. **Dispute Resolution.** Should any Signatory object in writing regarding any actions proposed, or the manner in which the terms of this Agreement are implemented, NPS shall consult with such party to resolve the objection. If NPS determines that such objection(s) cannot be resolved through this consultation, NPS shall:
- i. Forward all documentation relevant to the dispute, including NPS's proposed solution, to the ACHP and the other Signatories, with copies delivered to the Consulting Parties. Upon receipt of adequate documentation, the ACHP shall advise NPS on the resolution of the objection within thirty (30) calendar days. Prior to reaching a final decision on the dispute, NPS shall prepare a written response that takes into account timely advice or comments regarding the dispute from the Signatories and Consulting Parties and provide them with a copy of this written response. NPS shall then proceed according to its final decision.
 - ii. If the ACHP does not provide advice regarding the dispute within thirty (30) calendar days after receipt of adequate documentation, NPS may render a decision regarding the dispute and proceed accordingly. Prior to reaching such a final decision, NPS shall prepare a written response that takes into account any timely comments regarding the dispute from the Signatories and provide them with a copy of such written response.
 - iii. The responsibility of NPS to carry out all other actions subject to the terms of this Agreement that are not the subject of the dispute remain unchanged.
- g. **Entire Agreement.** This Agreement is the complete and exclusive agreement between the Signatories regarding the subject matter hereof and supersedes any other prior oral or written communications or understandings between the Signatories related to the subject matter hereof.
- h. **Counterparts.** This Agreement may be executed in several original counterparts, each of which shall be an original and all which counterparts taken together shall constitute one and the same agreement. Signatures to this Agreement transmitted by electronic means (including, without limitation, via .pdf) shall be valid and effective to bind the Signatory so signing.

- i. **Electronic Copies.** Within one week of the last signature on this Agreement, NPS shall provide each Signatory with one high quality, legible, full color, electronic copy of this fully executed Agreement and all of its attachments fully integrated into one, single document. Internet links shall not be used as a means to provide copies of attachments since links to web-based information often change. If the electronic copy is too large to send by email, NPS shall provide each Signatory with a copy of this Agreement as described above on a compact disc or other suitable electronic means.
- j. **Completion.** Upon the completion of all stipulations to this Agreement, NPS shall provide to the Signatories and other Consulting Parties a signed memorandum documenting that NPS has fulfilled all its responsibilities under this Agreement.
- k. **Emergencies.** Emergency responses are those actions deemed necessary by NPS as an essential and immediate response to disaster or emergency declared by the President, a Tribal government, or the Governor of the State of Maryland, or another immediate threat to life or property. In the event of an emergency, NPS shall follow the Emergency Actions Stipulation (VII) of the NPS Nationwide PA (2008).

EXECUTION of this Agreement by NPS, MD SHPO, and ACHP, and implementation of its terms evidence that NPS has taken into account the effects of this Undertaking on historic properties and afforded the ACHP a reasonable opportunity to comment.

[Signatures follow on separate pages]

Appendices:

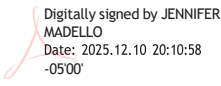
Appendix A – Area of Potential Effects and Historic Properties

Appendix B – Minimization Measures

Appendix C – Clara Barton NHS Rehabilitation Plans – Selected Construction Documents

**SIGNATURE PAGE
PROGRAMMATIC AGREEMENT
AMONG THE NATIONAL PARK SERVICE,
MARYLAND HISTORICAL TRUST, AND
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION
REGARDING THE REHABILITATION OF THE CLARA BARTON NATIONAL
HISTORIC SITE,
GEORGE WASHINGTON MEMORIAL PARKWAY,
GLEN ECHO, MARYLAND**

NATIONAL PARK SERVICE

By: **JENNIFER
MADELLO** 

Jennifer Madello
Superintendent
George Washington Memorial Parkway

Date: December 10, 2025


**SIGNATURE PAGE
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MARYLAND HISTORICAL TRUST

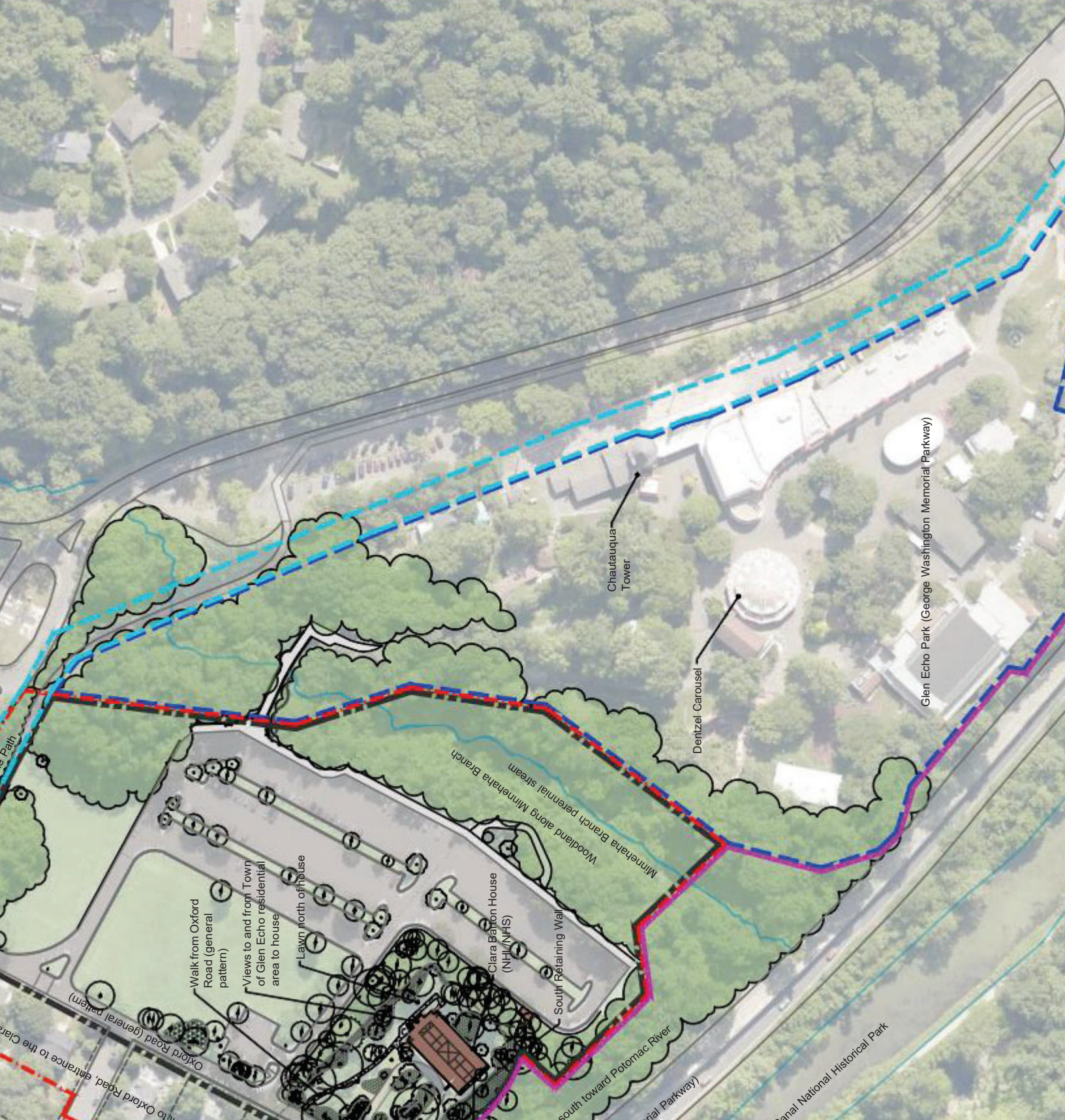
By: Elizabeth Hughes Date: December 19, 2025
Elizabeth Hughes
State Historic Preservation Officer

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GLEN ECHO, MARYLAND**






ADVISORY COUNCIL ON HISTORIC PRESERVATION

By:  _____ Date: January 21, 2026
Reid Nelson
Executive Director

APPENDIX A – AREA OF POTENTIAL EFFECTS AND HISTORIC PROPERTIES



Legend

-  Area of Potential Effect
-  Clara Barton National Monument
-  Glen Echo Park Historical District
-  Clara Barton Parkway
-  Cabin John Right-of-Way

District (State Listed (

Note: An archeological site exists

to Oxford Road, entrance to the Clara

Walk from Oxford Road (general pattern)

Views to and from Town of Glen Echo residential area to house

Lawn north of house

Clara Barton House (NHLMNHS)

South Retaining Wall

south toward Potomac River

Chautauqua Tower

Dentzel Carousel

Woodland along Minnehaha Branch

Glen Echo Park (George Washington Memorial Parkway)

Clara Barton National Historical Park

APPENDIX B – MINIMIZATION MEASURES

| No | Location | No | High | |
|---------------|--------------------------------|----------------------------------|--|---|
| Yes, directly | Design, Materials, Workmanship | No | Primary | The building elevation maintains its characteristic forms, such as false gable, corner towers, and fenestration. The proposed front porch replaces the existing symmetrical front porch (not period of significance) with the same extents from the east to west tower. Several components are severely deteriorated, as is the front wall siding, necessitating the removal of the porch to replace the rotted wood. Historic photographs and NPS drawings from c. 1978 will guide design of the new porch with compatible proportions for the railing and balusters. The third-floor balcony will be replaced in kind where wood materials are deteriorated. |
| Yes, directly | Design, Materials, Workmanship | No | None given | All roofs will be replaced in kind with a lightning protection system at the highest points; the small lightning rods are approximately 10" in height and barely visible from the ground. New fall protection anchors at lower roofs and plumbing vent will be low profile and located near the third floor walls away from the roof edges to reduce visibility; they will also be painted to match the color of the roof metal. Four low gussetts will protrude from the east and west low roofs covered with the same painted sheet metal. |
| Yes, directly | Materials, Workmanship | No | Primary | The stone retains integrity, however the mortar lacks integrity. The stone will be repointed with mortar based on historic mortar analysis. |
| Yes, directly | Materials, Workmanship | No | Primary - NE, NW elevations, Secondary - SE, SW elevations | Clapboard siding that is deteriorated will be replaced to match existing sizes and profiles. Historic wood species is pine; new wood will be cedar or douglas fir to improve resistance to rot. At the Northeast (front) elevation, the siding above the porch roof will be replaced; this siding is c. 1966. At southeast and northwest elevations, siding will be removed and reinstalled where new structural connections will be made at the floor and roof levels. At the southwest (rear) elevation, siding at the two sides will be removed and reinstalled, with an assumed 20% replacement where it is rotted or cupped. Areas of this siding were replaced c. 1978. |
| Yes, directly | Design, Materials, Workmanship | Yes | Primary | Existing front entrance doors will be re-hung to swing outwards. It is unknown if existing screen doors are original, however HSR documents screen doors being installed c. 1903 (Vol 2, pg 54). |
| Yes, directly | Design, Materials, Workmanship | No | Secondary - Exterior, Not Significant - Interior | Door was not included in HSR inventories because it was concealed at the interior; its date of construction is unknown although it is suspected to date to after the period of significance. The larger masonry opening suggests that a pair of wood doors were used for moving large items into storage in the basement. Existing door will be modified with wood rail (+/- 12" high) of matching species to elongate the door. Entire door will be painted. |
| Yes, directly | Materials, Workmanship | Yes, small percentage of windows | Varies | Four windows at the south/southwest elevation will require extensions of the frame jambs and heads; wood sills will be replaced. Four clerestory windows (east and west elevations) will be infilled with shear plywood panels. These will be |
| | | | | Screen doors will be removed and be installed in sensitive manner style. Door operator may be of people if code official and NPS Existing door will be modified at egress hardware only at the interior either side will remain and be level with the interior floor is r landing may require a slight drop the north/northeast side and p At north/northeast elevation, i replaced with new sash to ma Existing frames, sills, and frame |

| | | | | | | | |
|-----------------|--------------------------------|-----|-----------------|--|---|--|--|
| | | | | | wood louvers for outside air distribution. | | public. Louvers will be designed to match the existing wood jambs/sills to match size and color. Existing wood will be salvaged, although it is unknown if it will be used for other public areas. |
| Yes, indirectly | Materials, Workmanship | No | None given | | Structural reinforcement of flagpole at third floor penthouse will occur from the third floor ceiling and roof during roof replacement; it will not be visible after muslin ceiling is reinstalled. Existing flagpole will be retained. | | |
| Yes, directly | Materials, Workmanship | No | Primary | | The specialized conservation treatment is to remove the muslin onsite for cleaning and applying a new paper backing. The restored muslin will be reinstalled to match original locations and tacking. | | |
| Yes, directly | Materials, Workmanship | No | Non-historic | | Non-historic muslin will be removed and replaced-in-kind on first floor to allow structural and mechanical improvements. The ceiling in Room 213 will be removed and abated due to 1970s asbestos backing. | | The selection of Rooms 214 and 215 for removal of historic plaster in connection with the renovation of the first floor. |
| Yes, directly | Materials, Workmanship | Yes | Non-historic | | The material will be replaced with drywall due to fire-rating requirements for egress stair (Room 214) and lift shaft (Room 215A); performance in Toilet Room (Room 215B) and Curatorial Workroom (Room 215). | | The plaster will be replaced in-kind with a different mix. The plaster has identified different components and a different plaster mix is provided in the specification. |
| Yes, directly | Materials, Workmanship | Yes | Varies | | The plaster will be removed to allow structural and building system improvements. Many rooms have network cracking, delamination, water damage, failed patches, and post-historic board covering original material which would require extensive repairs. | | The plaster will be replaced in-kind with a different mix. The plaster has identified different components and a different plaster mix is provided in the specification. |
| Yes, directly | Materials, Workmanship | Yes | Varies | | Plaster wall material will be removed at the tops of walls near the ceiling intersections to access the joists for the structural lateral connections. The removals will be minimized to the greatest extent possible. | | The plaster will be replaced in-kind with a different mix. The plaster has identified different components and a different plaster mix is provided in the specification. |
| Yes, directly | Materials, Workmanship | No | Varies | | Plaster will receive patching to restore finish. | | The plaster will be replaced in-kind with a different mix. The plaster has identified different components and a different plaster mix is provided in the specification. |
| Yes, directly | Design, Materials, Workmanship | No | Primary | | Finishes of the wood board and batten walls will be restored at three floors. The approach to 115 will be widened by relocating the north wall of closet CL-6 to the south by 12". The opening at 214 will be widened by 6". These widenings are required to meet the code-required minimum for clearance. The hall closets may require minor dismantling to install the cold-formed metal sisters to the joists; The closets will be repaired to match existing. | | The new wider opening at Room 115 will be installed to minimize its view from the hall. The approach to the hall spatial organization will be impacted through the impact to the hall spatial organization. The "reading" of both first and second floors will be impacted, therefore not diminishing the impact of the new systems are added to the existing systems inside the closets or lofts. The impact will be minimized by minimizing the number of closets added to conceal systems if closets are added. |
| Yes, directly | Design, Materials, Workmanship | Yes | Primary | | Some closet interiors will receive vertical ductwork, piping, and conduit for building services. This will be coordinated with the existing (and good condition) sprinkler routing pathways and sprinkler heads. Closet CL-7 will receive a steel column to support the structure above for the new lift; its overall width will also be reduced to widen the approach to Room 115. Board and battens and the closet door will be removed and reinstalled to match existing proportions. The decorative header trim at the approach will be reconstructed at the new wider opening to Room 115. | | |
| Yes, directly | Design, Materials, Workmanship | Yes | Not significant | | Vertical board partition, covered with modern fiberboard, will be removed. A new CMU load-bearing wall will be constructed to support the new lift; the wall will be shifted to the south from the original wall location to make the best use of the space. | | Boards will be well documented and removed, the new wall is in room 115. The location of the new wall is in room 115. |

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| Directly | Design, Materials, Workmanship | Yes | Secondary | Vertical beaded board partition, covered with modern fiberboard, will be removed. The non-historic stair to the basement will also be removed. The additional space is needed for the lift and restroom. | Boards will be well documented and minimized by retaining building the new kitchenette wall. |
| Directly | Design, Materials, Workmanship | Yes | Secondary | Vertical board partition, covered with modern fiberboard, will be removed. The additional space is needed for the lift and restroom. | Boards will be well documented floor below, the new configuration smaller interventions within a large continuous on both sides of the Curatorial Workroom (215) from will be installed as a slider in the |
| concealing or partial concealing | | | | | |
| Yes, directly | Design, Materials, Workmanship | No | Not significant | Beaded board partition will remain behind new shaft wall for egress stair. Impact of new egress stair is minimized by preservation of beaded board wall behind new shaft wall. The new shaft wall should "float" in front of board wall and not be fastened directly to the historic wall. | Impact of new restroom is minimized and batten wall. The new restroom wall and not be fastened directly |
| Yes, directly | Design, Materials, Workmanship | Yes for new opening | Secondary | Board and batten partition will remain with the new restroom wall "floated" behind the board partition. A new opening will be created for the door to the restroom (Room 116B). Much of the board partition will be exposed on both sides. The existing thru-door to Room 117 will remain. | |
| Yes, directly | Design, Materials, Workmanship | No | Secondary | Vertical board partition will remain with the new restroom wall "floated" in front of the board partition. Two doors will be fixed in place so they are not operable (reversible action in future). | |
| Yes, directly | Design, Materials, Workmanship | No | Secondary | Vertical board partition, covered with modern fiberboard, will remain behind new shaft wall for egress stair. Impact of new egress stair is minimized by preservation of vertical board wall behind new shaft wall. The new shaft wall should "float" in front of board wall and not be fastened directly to the historic wall. | |
| Yes, directly | Design, Materials, Workmanship | No | Secondary | Vertical board partition will remain with the new restroom wall "floated" in front of the board partition. Two doors will be fixed in place so they are not operable (reversible action in future). Impact of new restroom is minimized by preservation of the vertical board partition. Closet in Room 216 is maintained behind new finished restroom wall. | |
| with new shear walls | | | | | |
| No | Design, Materials, Workmanship | No | Secondary | The existing plaster walls will remain preserved behind the new shear walls. | |

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| Yes, indirectly | Materials, Workmanship | No | Primary | Removal of full wall paneling for a wall segment to the north of the Main Stair and near Door 111A to allow the structural work at the ceiling/wall connection. Paneling will be reinstalled. Other locations will be concealed within the backs of closets. | Door and transom will be well egress stair with fire-rated enclosure to the building. Several alternative openings directly attached to the modifications to meet the door clearance. Opening 115 is towards the integrity, the original opening in place such that the change can be made. Door and hinges will be well do |
| No | Materials, Workmanship | No | Varies | Finishes will be restored. | |
| files, and corner blocks | | | | | |
| Yes, directly | Design, Materials, Workmanship | Yes | Primary - Main Hall, Not significant - Room 115 | Door 115 (four panel wood door) and its transom window will be removed and replaced-in-kind to meet the fire-rating. Because the opening is relocating by 12" to the north to add the egress stair, the vertical trim at the south end of the opening will remain to mark the location of the original opening. Reproduction trim will frame the new opening to match existing. Salvaged vertical boards will cover the new wall. | Door and transom will be well egress stair with fire-rated enclosure to the building. Several alternative openings directly attached to the modifications to meet the door clearance. Opening 115 is towards the integrity, the original opening in place such that the change can be made. Door and hinges will be well do |
| Yes, directly | Design, Materials, Workmanship | Yes | Primary - Main Hall, Secondary Room 116 | Door 116A (four panel wood door) will be removed to provide the 32" opening for accessible route to the lift. The door stops will also be removed. | Door and hinges will be well do |
| No | Materials, Workmanship | No | Secondary (Room 117) | This closet had been reversed to open into Room 117 after the period of significance. The doors are currently missing, possibly stored with artifacts in the basement. To create flush wall for Toilet Room 116B, salvaged doors can be fixed in the openings, or the openings will be infilled and the Sanitary trim will remain. | |
| No | Design, Materials, Workmanship | No | Primary | Doors with decorative yellow-glazed upper panels will remain swinging inwards. They will be fixed in place. | |
| Yes, directly | Design, Materials, Workmanship | Yes | Primary - Main Hall/ Secondary - Room 214 | Door 214 (four panel wood door) will be removed and replaced-in-kind to meet the fire-rating. Because the opening will be widened by 6" to add the egress stair, the vertical trim and corner block at the north end of the opening will be removed and reinstalled at the wider opening, and the top trim will modified. | Door and transom will be well egress stair with fire-rated enclosure to the building. Several alternative openings directly attached to the modifications to meet the door clearance. Opening 214 is towards the rear of the building. While altering the integrity, the trim is reinstalled in place such that the change can be made. Door and hinges will be well do |
| Yes, directly | Design, Materials, Workmanship | Yes | Primary - Main Hall, Secondary - Room 215 | Door at Room 215A (four panel wood door) will be removed to provide the 32" opening for accessible route to the lift. The door stops will also be removed. | Door and hinges will be well do |
| No | Design | No | Primary - Main Hall, Secondary - Room 215 | Four panel door will be secured shut. | |

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| | | | | | trim will also be removed and reinstalled or replaced at th eadjusted opening. | |
| Yes, directly | Design | No | Primary - Main Hall | | Door opening clear widths are mostly between 29" and 30". ABAAS clearance is 32". A few doors will require minor modifications to the openings by removing door stops and the doors to provide accessibility. | Door and hinges will be well doc |
| Yes, directly | Design, Materials, Workmanship | Yes | Not significant | Yes | Door will be removed, well documented and salvaged. | Door will be removed, well docu become part of an exhibit or int different room. |
| Yes, directly | Design, Materials, Workmanship | Yes | Secondary | Yes | Door will be removed, well documented and salvaged. | Door will be removed, well docu become part of an exhibit or int different room. |
| No | Design, Materials, Workmanship | No | Secondary | No | The doors and trim will remain with the new restroom wall "floated" in front. The doors will be fixed in place so they are not operable (reversible action in future). Impact of new restroom is minimized by preservation of the doors. Closet in Room 216 is maintained behind new finished restroom wall. | |
| Yes, directly | Materials, Workmanship | Yes | Varies | Yes | Tongue and groove pine boards will be removed and salvaged in Rooms 115 and 214. The floor boards will also be removed in the lift shaft at Rooms 116 and 215. For supply and return air distribution for the HVAC system, several small penetrations will be made in the wood floor. Floor registers will be utilized at the first floor and select locations at the second floor. Larger rooms will typically have two to three registers in the floor, while smaller rooms will have only one or two. The size of registers varies with the largest at 16x12. | The floor removal will be minim wood floor from Rooms 115 an egress stair. The floor penetrat grilles will be minimized by con possible; there will be no new cl within closets. The grilles will be radiator locations since the floor removal of the baseboard radia |
| Yes | Design, Materials, Workmanship | Yes | Varies | Yes | The colored glass clerestory windows will be restored and colored glass will replace where Plexiglass has been inserted. Two clerestory windows at both the east and west elevations will be infilled to become shear wall panels. The transom above the Door to Room 115 will be replaced to match existing at the larger width. The light entering the atrium will be minimally diminished by losing four clerestory windows. | The infill clerestory windows (fo force resisting system. The infill have already been infilled and f interior wood finish will match |
| No | Materials, Workmanship | No | Primary | No | The built-in cabinetry in Rooms 109, 111 (cupboard), and 112 (corner and wall cabinets) will be restored, | |
| No | Materials, Workmanship | No | Primary | No | The vault will receive limited repairs-in-kind and will be used for interpretation. | |
| Yes, directly | Design, Materials, Workmanship | No | Secondary | No | Muslin will be removed and restored. This enables reinforcement of the roof and flagpole. Rooms 301 and 305 will each have a pair of visible posts with braces in the ceilings. Other structural upgrades within the floors and roof framing will be concealed from view. | Repairs will not be visible upon material. |
| Yes, directly | Location, Design, Materials | No | High | No | The proposed front porch replaces the existing symmetrical front porch (not period of significance) with the same extents from the east to west tower. Several components are severely deteriorated, as is the front wall siding, necessitating the | |

| | | | | | |
|-----------------|--------------------------------|----|----------|--|--|
| No | | | | | The proposed work avoids alteration of this feature. |
| Yes, directly | Design, Materials, Workmanship | No | Low | | A new orthogonal walk will replace the existing, non-historic, curvilinear sidewalk. The grading will be altered slightly to make the entire path accessible. The new walk will more closely align to the layout of the historic boardwalks that were a circulation feature of the site during the period of significance. |
| No | Design, Setting | No | Low | | Proposed work avoids alteration of the general pattern of this feature. Existing gravel loop will be maintained. |
| No | Setting | No | Low | | Proposed work avoids alteration of this feature. |
| Yes, indirectly | Setting | No | Moderate | | Construction activities including excavation, utility trenching, and stormwater management during construction may result in drainage to this adjacent waterway. Site protection will be put in place during construction to mitigate erosion and control silt and runoff. |
| Yes, indirectly | Setting | No | Moderate | | Selective tree removal will begin to open up views between the house and its immediate surrounds. This helps to rehabilitate some of the historic visual relationships between the site, neighborhood, and Glen Echo Park that were characteristic of Clara Barton's occupancy. |
| No | Setting | No | Moderate | | Proposed work avoids alteration of this feature. Site protection will be put in place during construction to mitigate erosion and control silt and runoff. |
| No | Design, Setting | No | Moderate | | Proposed work avoids alteration of this feature. |
| Yes, directly | Design, Setting | No | Low | | Two new accessible parking spaces will be provided west of the arrival loop at the end of Oxford Road. A new gate will be located beyond the accessible parking spaces. Signage will be provided to limit access of the general public to the service loop and accessible parking spaces. |
| No | Design, Setting | No | Low | | Construction impacts temporary pause historic land use functions of the property. No lasting impacts to the cultural landscape. |
| Yes, directly | Setting | No | Low | | Limited tree removal in historically open areas will be undertaken to remove invasive tree species and trees planted too close to house or walks. |
| Yes, directly | Setting | No | Low | | Limited tree removal in historically open areas will be undertaken to remove invasive tree species and trees planted too close to house or walks. |
| Yes, directly | Materials, Setting | No | Low | | Limited grading and construction activities will require restoration of lawn on the ground plane as part of the site restoration after construction. |

On the two HSRs, with the higher significance noted here where the two reports differ. Refer to Section 1 of the narrative for how significance was established.

**APPENDIX C – CLARA BARTON NHS REHABILITATION PLANS – SELECTED
CONSTRUCTION DRAWINGS**

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|----|---|-----------|--------------------|---------------------------|-------------|---------|--------------------|---------------------|------------------|-----------|------------|-----------------|-------------|--------------|-------------|--------------------|---------------|-----------------------|---------------|----------------------------|----------------------------|--------------|------------|---------------|-------------------|-------------------|----------------|--------------------------|---------|---------------|---------|------------------|-------------|-----------|-------------|---------|-----------------------|-----------|-------------------------|-----------|--------------|----------------|--------------|-----------------|-----------------------|-----------------|-----------------|-------------|----------------------------|---------------|---------------------|--------------------------|-----------------|--------|
| 8. | SALVAGED DOORS AND OTHER HISTORIC ITEMS TO OFFSITE STORAGE LOCATION IS DETERMINED. CONSULT ARCHITECT FOR MATERIALS REPORT FOR TREATMENT PROCEDURES FOR ADDITIONAL "PAGE" IS PROHIBITED. THEFT IS PUNISHABLE BY LAW. | MIN METAL | MISC MISCELLANEOUS | NPS NATIONAL PARK SERVICE | NOM NOMINAL | N NORTH | N/A NOT APPLICABLE | NIC NOT IN CONTRACT | NTS NOT TO SCALE | NO NUMBER | OFF OFFICE | OC ON CENTER(S) | OPG OPENING | OPP OPPOSITE | PTD PAINTED | PVG PAVE(D), (ING) | PVMT PAVEMENT | PLAM PLASTIC LAMINATE | PLYWD PLYWOOD | PSI POUNDS PER SQUARE INCH | PSF POUNDS PER SQUARE FOOT | QTY QUANTITY | RAD RADIUS | REF REFERENCE | REFR REFRIGERATOR | REINF REINFORCING | REQ REQUIRE(D) | REV REVISION(S), REVISED | R RISER | RD ROOF DRAIN | RM ROOM | RO ROUGH OPENING | SEC SECTION | SHT SHEET | SIM SIMILAR | S SOUTH | SPEC SPECIFICATION(S) | SQ SQUARE | SF SQUARE FEET STANDARD | STL STEEL | STOR STORAGE | STR STRUCTURAL | TB TACKBOARD | THK THICK(NESS) | T&G TONGUE AND GROOVE | TOW TOP OF SLAB | TOW TOP OF WALL | TYP TYPICAL | UON UNLESS OTHERWISE NOTED | VERT VERTICAL | VIF VERIFY IN FIELD | VCT VINYL COMPOSITE TILE | WC WATER CLOSET | W WEST |
|----|---|-----------|--------------------|---------------------------|-------------|---------|--------------------|---------------------|------------------|-----------|------------|-----------------|-------------|--------------|-------------|--------------------|---------------|-----------------------|---------------|----------------------------|----------------------------|--------------|------------|---------------|-------------------|-------------------|----------------|--------------------------|---------|---------------|---------|------------------|-------------|-----------|-------------|---------|-----------------------|-----------|-------------------------|-----------|--------------|----------------|--------------|-----------------|-----------------------|-----------------|-----------------|-------------|----------------------------|---------------|---------------------|--------------------------|-----------------|--------|

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| AUX AUXILIARY | BRG BEARING | BD BOARD | BOT BOTTOM | BLDG BUILDING | CAB CABINET | CARP CARPET | CLG CEILING | CTR CENTER CENTERLINE | CT CERAMIC TILE | CLR CLEAR(ANCE) | CL CLOSET | COL COLUMN | CONC CONCRETE | CONST CONSTRUCTION | CONT CONTINUE/CONTINUOUS | CO CONTRACTING OFFICER | COR CONTRACTING OFFICER REPRESENTATIVE | CJ CONTROL JOINT | COORD COORDINATE | CORR CORRIDOR | DEMO DEMOLISH, DEMOLITION | DTL DETAIL | DIAG DIAGONAL | DIA DIAMETER | DIM DIMENSION | DN DOWN | DWR DRAWER | DWG DRAWING | D DRAIN | EA EACH | E EAST | ELEC ELECTRIC(AL) | EWC ELECTRIC WATER COOLER | EMER EMERGENCY | ENCL ENCLOSE (URE) | EQ EQUAL | EQUIP EQUIPMENT | EXIST EXISTING | EJ EXPANSION JOINT | EXP EXPOSED | EXT EXTERIOR | FIN FINISH(ED) | FFL FINISH FLOOR LEVEL | FE FIRE EXTINGUISHER | FEC FIRE EXTINGUISHER CABINET | FLR FLOOR(ING) | FD FLOOR DRAIN | FT FEET | FTG FOOTING | FR FRAME(ED), (ING) | FBO FURNISHED BY OTHERS | FURR FURRED (ING) | GA GAGE, GAUGE | GALV GALVANIZED | GC GENERAL CONTRACTOR | GL GLASS, GLAZING | GWB GYPSUM WALLBOARD |
|---------------|-------------|----------|------------|---------------|-------------|-------------|-------------|-----------------------|-----------------|-----------------|-----------|------------|---------------|--------------------|--------------------------|------------------------|--|------------------|------------------|---------------|---------------------------|------------|---------------|--------------|---------------|---------|------------|-------------|---------|---------|--------|-------------------|---------------------------|----------------|--------------------|----------|-----------------|----------------|--------------------|-------------|--------------|----------------|------------------------|----------------------|-------------------------------|----------------|----------------|---------|-------------|---------------------|-------------------------|-------------------|----------------|-----------------|-----------------------|-------------------|----------------------|

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| BRG BEARING | BD BOARD | BOT BOTTOM | BLDG BUILDING | CAB CABINET | CARP CARPET | CLG CEILING | CTR CENTER CENTERLINE | CT CERAMIC TILE | CLR CLEAR(ANCE) | CL CLOSET | COL COLUMN | CONC CONCRETE | CONST CONSTRUCTION | CONT CONTINUE/CONTINUOUS | CO CONTRACTING OFFICER | COR CONTRACTING OFFICER REPRESENTATIVE | CJ CONTROL JOINT | COORD COORDINATE | CORR CORRIDOR | DEMO DEMOLISH, DEMOLITION | DTL DETAIL | DIAG DIAGONAL | DIA DIAMETER | DIM DIMENSION | DN DOWN | DWR DRAWER | DWG DRAWING | D DRAIN | EA EACH | E EAST | ELEC ELECTRIC(AL) | EWC ELECTRIC WATER COOLER | EMER EMERGENCY | ENCL ENCLOSE (URE) | EQ EQUAL | EQUIP EQUIPMENT | EXIST EXISTING | EJ EXPANSION JOINT | EXP EXPOSED | EXT EXTERIOR | FIN FINISH(ED) | FFL FINISH FLOOR LEVEL | FE FIRE EXTINGUISHER | FEC FIRE EXTINGUISHER CABINET | FLR FLOOR(ING) | FD FLOOR DRAIN | FT FEET | FTG FOOTING | FR FRAME(ED), (ING) | FBO FURNISHED BY OTHERS | FURR FURRED (ING) | GA GAGE, GAUGE | GALV GALVANIZED | GC GENERAL CONTRACTOR | GL GLASS, GLAZING | GWB GYPSUM WALLBOARD |
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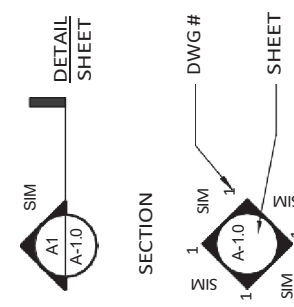
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| BRG BEARING | BD BOARD | BOT BOTTOM | BLDG BUILDING | CAB CABINET | CARP CARPET | CLG CEILING | CTR CENTER CENTERLINE | CT CERAMIC TILE | CLR CLEAR(ANCE) | CL CLOSET | COL COLUMN | CONC CONCRETE | CONST CONSTRUCTION | CONT CONTINUE/CONTINUOUS | CO CONTRACTING OFFICER | COR CONTRACTING OFFICER REPRESENTATIVE | CJ CONTROL JOINT | COORD COORDINATE | CORR CORRIDOR | DEMO DEMOLISH, DEMOLITION | DTL DETAIL | DIAG DIAGONAL | DIA DIAMETER | DIM DIMENSION | DN DOWN | DWR DRAWER | DWG DRAWING | D DRAIN | EA EACH | E EAST | ELEC ELECTRIC(AL) | EWC ELECTRIC WATER COOLER | EMER EMERGENCY | ENCL ENCLOSE (URE) | EQ EQUAL | EQUIP EQUIPMENT | EXIST EXISTING | EJ EXPANSION JOINT | EXP EXPOSED | EXT EXTERIOR | FIN FINISH(ED) | FFL FINISH FLOOR LEVEL | FE FIRE EXTINGUISHER | FEC FIRE EXTINGUISHER CABINET | FLR FLOOR(ING) | FD FLOOR DRAIN | FT FEET | FTG FOOTING | FR FRAME(ED), (ING) | FBO FURNISHED BY OTHERS | FURR FURRED (ING) | GA GAGE, GAUGE | GALV GALVANIZED | GC GENERAL CONTRACTOR | GL GLASS, GLAZING | GWB GYPSUM WALLBOARD |
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MATERIALS LEGEND

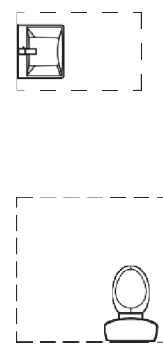


TYPICAL SYMBOLS



INTERIOR ELEVATION

ABAAS PLUMBING FIXTURE CLEARANCE



JEOPARDIZING THE PRESERVATION OF HISTORIC ARTIFACTS OF THE CONTRACTOR.

ANCE. DISTURBANCE MAY ONLY OCCUR IN THE GROUND GEOLOGICAL MONITORING REQUIREMENTS OF THE CONTRACTOR. SECRETARY OF THE INTERIOR QUALIFIED ARCHEOLOGIST.

RLY PART OF CONSTRUCTION DUE TO THE POSSIBILITY FOR GEOLOGICAL RECOVERY OF ARTIFACTS OR FEATURES.

Y VISIT THE PROJECT SITE. FAILURE TO VISIT THE SITE AND SHALL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER FROM OBLIGATION TO COMPLETE WORK ACCORDING TO THE DRAWINGS

AND REPORT DISCREPANCIES IN THE DRAWINGS AND START OF CONSTRUCTION. FAILURE TO VERIFY ALL DISCREPANCIES WILL NOT RELIEVE THE CONTRACTOR FROM COMPLETE OBLIGATION, THE MOST RIGID REQUIREMENTS SHALL GOVERN.

LIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING

PERSONNEL AS OUTLINED IN THE SPECIFICATIONS.

APPROVAL OF THE CONTRACTING OFFICER; REQUEST CLARIFICATION OF INFORMATION IN THE DRAWINGS PRIOR TO

AND/OR FABRICATING MATERIALS/ELEMENTS. ALL MATERIALS SHALL BE NOTED OTHERWISE.

URING. CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR PROTECTION AND SHALL TAKE PRECAUTIONS TO PREVENT DAMAGE TO SAME ELEMENTS OCCURS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONTRACTING OFFICER AT NO ADDITIONAL COST.

UTILIZED TO FACILITATE ASPECTS OF THE WORK. THE ARCHITECT AND THE NPS PERSONNEL AS NECESSARY TO MEET ALL SAFETY CRITERIA AND MEET THE REGULATIONS OF OSHA AND LOCAL LAWS.

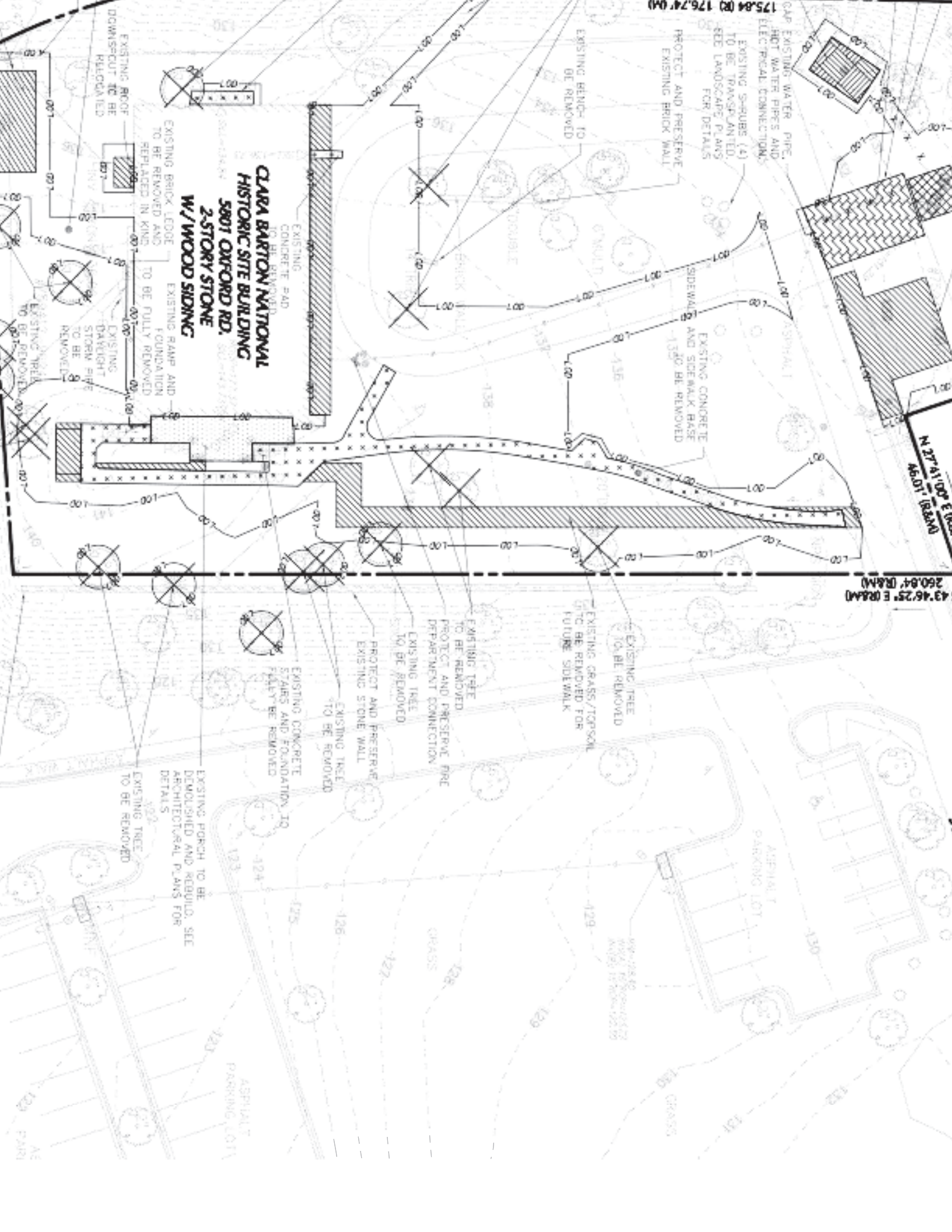
CONSTRUCTION DEBRIS IN VICINITY OF THE WORK AREA. MATERIALS ACCORDING TO FEDERAL, STATE, AND LOCAL LAWS. SHALL BE BY LAW.

LEAD CONTAINING. PERFORM WORK THAT DISTURBS REGULATIONS AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND DISPOSAL OF LEAD CONTAINING PAINT.

LANDSCAPING, AND SITE FEATURES AS SHOWN IN THE DRAWINGS. AREAS ARE INCLUDED IN THE SCOPE OF WORK. A CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES AND STRUCTURES IN THE WORK AREA.

CONSTRUCTION BARRIER LOCATIONS. CONTRACTOR MUST MAINTAIN CLEAR ACCESS TO ALL UTILITIES AND STRUCTURES IN THE WORK AREA, SHOWING LAYDOWN AREAS, TEMPORARY

IFYING THE CONTRACTING OFFICER.



**CLARA BARTON NATIONAL
HISTORIC SITE BUILDING
5801 OXFORD RD.
2-STORY STONE
W/ WOOD SIDING**

EXISTING BRICK LEDEGE
TO BE REMOVED AND
REPLACED IN KIND
EXISTING RAMP AND
FOUNDATION
TO BE FULLY REMOVED

EXISTING CONCRETE
TO BE REMOVED
EXISTING BRICK WALL
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EXISTING TREE
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EXISTING PORCH TO BE
DEMOLISHED AND REBUILD. SEE
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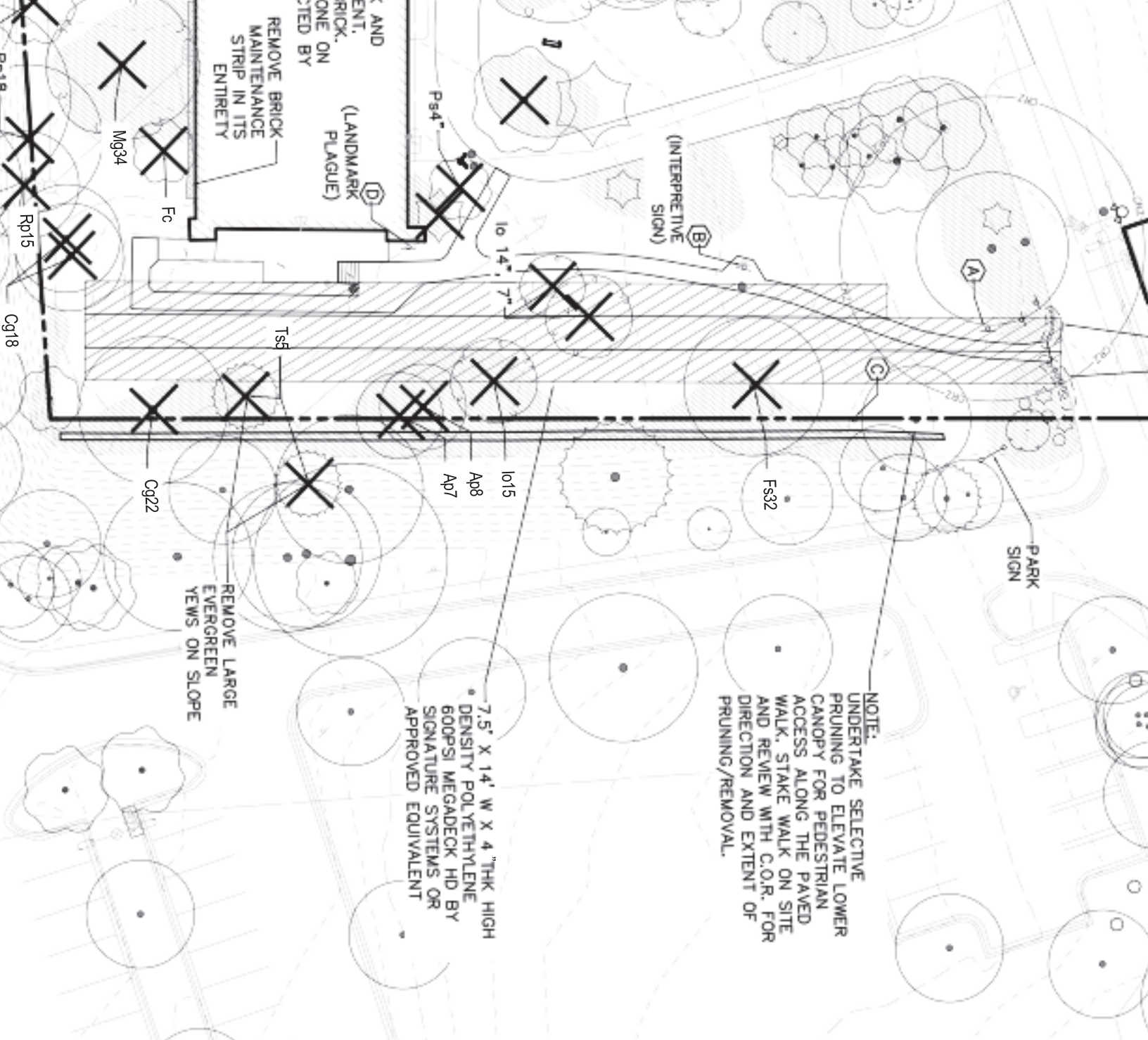
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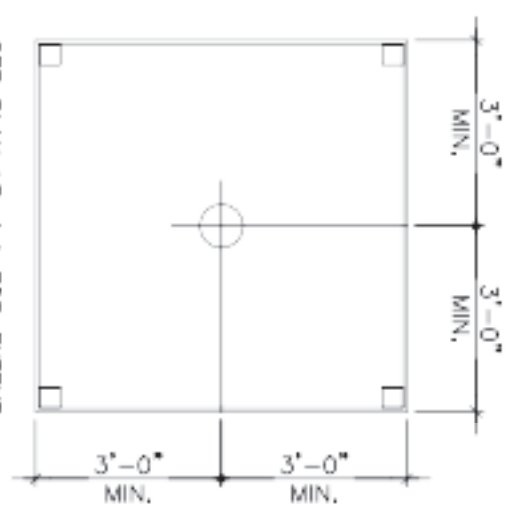
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43.4625' E (RRM)
260.84' (RRM)
460.01' (RRM)
N 27.14100' E 300.00'



NOTE:
 UNDERTAKE SELECTIVE PRUNING TO ELEVATE LOWER CANOPY FOR PEDESTRIAN ACCESS ALONG THE PAVED WALK. STAKE WALK ON SITE AND REVIEW WITH C.O.R. FOR DIRECTION AND EXTENT OF PRUNING/REMOVAL.



SEE PLAN LR-1.1 FOR EXTENT OF TREE PROTECTION

PLAN FOR SINGLE TREE

2 PLAN & ELEVATION: TREE PROTECTION

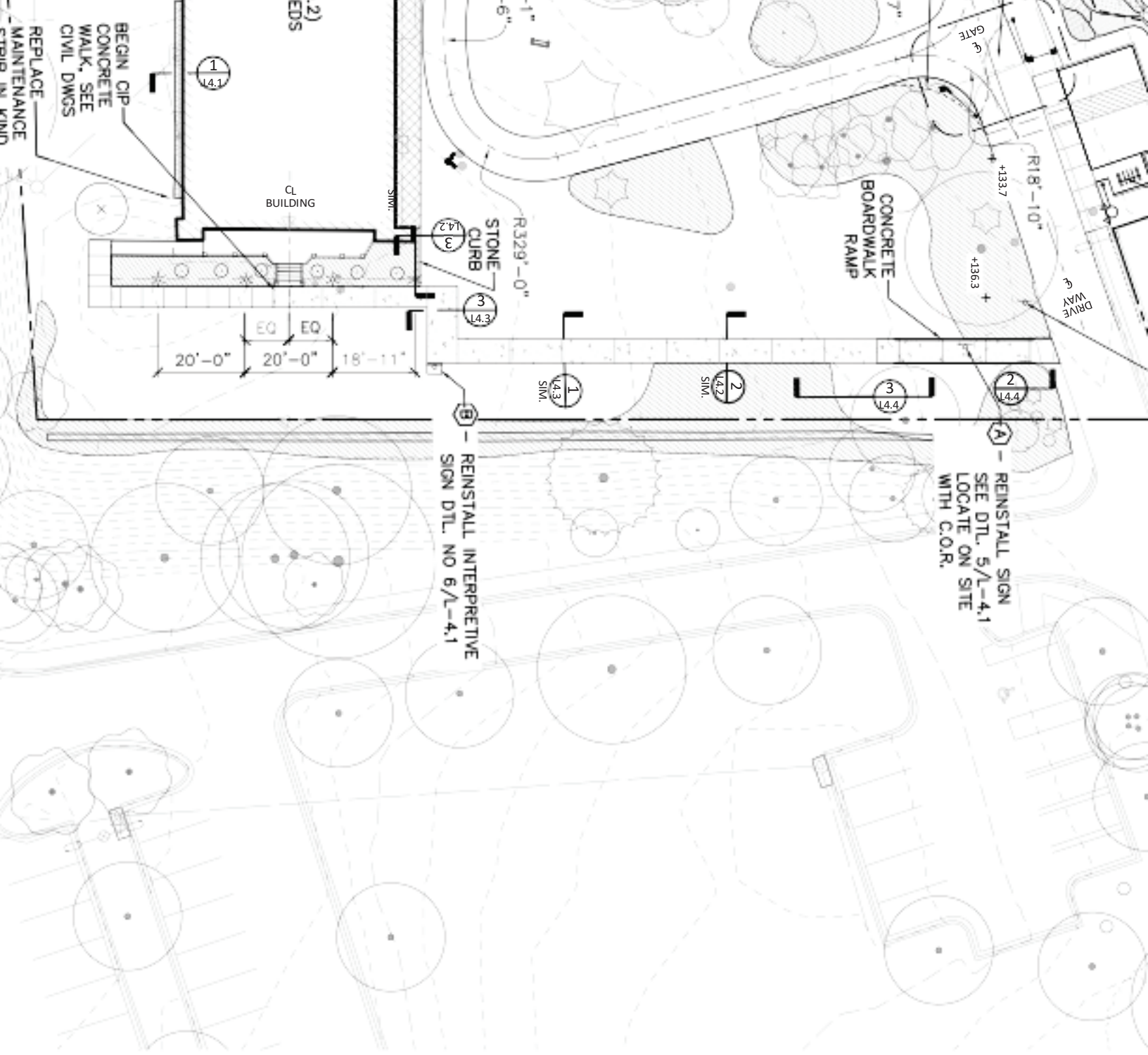
LR1.1 SCALE (B)

KEY

- TREE REMOVAL
- PROTECTION BOARD
- REMOVE BRICK
- CRITICAL ROOT ZONE
- SIGNAGE INFORMATIONAL
- PROPERTY LINE
- 1 FT CONTOUR

REMOVAL NOTES:

- (A) - REMOVE AND SALVAGE SIGN PANEL FOR REINSTALLATION



3. REPAIR ANY DIVOTS OR UN...
THE EXISTING GRAVEL DRIVE
GRADE TO THE EXISTING C...
DEPRESSIONS THAT COLLEC...

GENERAL NOTES:

1. COORDINATE LANDSCAPE I...
SITE IMPROVEMENTS AS DE...
DRAWINGS C-3.0 SITE PLA...
2. SEE CIVIL DWG C-4.0 GRA...
DRAINAGE PLAN FOR SITE
PLANTING DETAILS L4.2 FC...
PLANTING SOIL DEPTHS AN...
REQUIREMENTS
3. NOTIFY C.O.R OF SITE CON...
NOT SUITABLE FOR THE PL...
CONSTRUCTION OF LANDSC...
IMPROVEMENTS. DO NOT P...
UNTIL SUITABLE CONDITION
4. CHECK SPECKS FOR STUMPA...

AND PLANTED WITHIN A 48 HOUR TIME SPAN. SHEETS SHALL BE KEPT WRAPPED AND WATER WHILE OUT OF SPECIFICATION SECTION 329800 TRANSPORT.

**PLANT MATERIALS LIST BASE CONTRACT WORK
CITY KEY SCIENTIFIC NAME**

TREES

- 2 Mv Magnolia virginiana
- 2 Iq Ilex opaca
- 2 Mc Morella cerifera

SHRUBS

- 2 Hp Hydrogeon paniculata 'Grandiflora'
- 4 Rc Rosa Coral Knock Out®
- 2 Ds Deutzia scabra
- 2 Cy Calycanthus florida

HERBACEOUS SPECIES

- 4 Ic Ischaemoliza californica
- 220 Ms Maricissus spp.
- 220 Wl Waldstenia fragaroides

**STORM WATER MITIGATION PLANT MATERIAL
CITY KEY SCIENTIFIC NAME**

TREES

- 1 Cc Carpinus caroliniana
- 3 Cf Cornus florida
- 1 Iq Ilex opaca

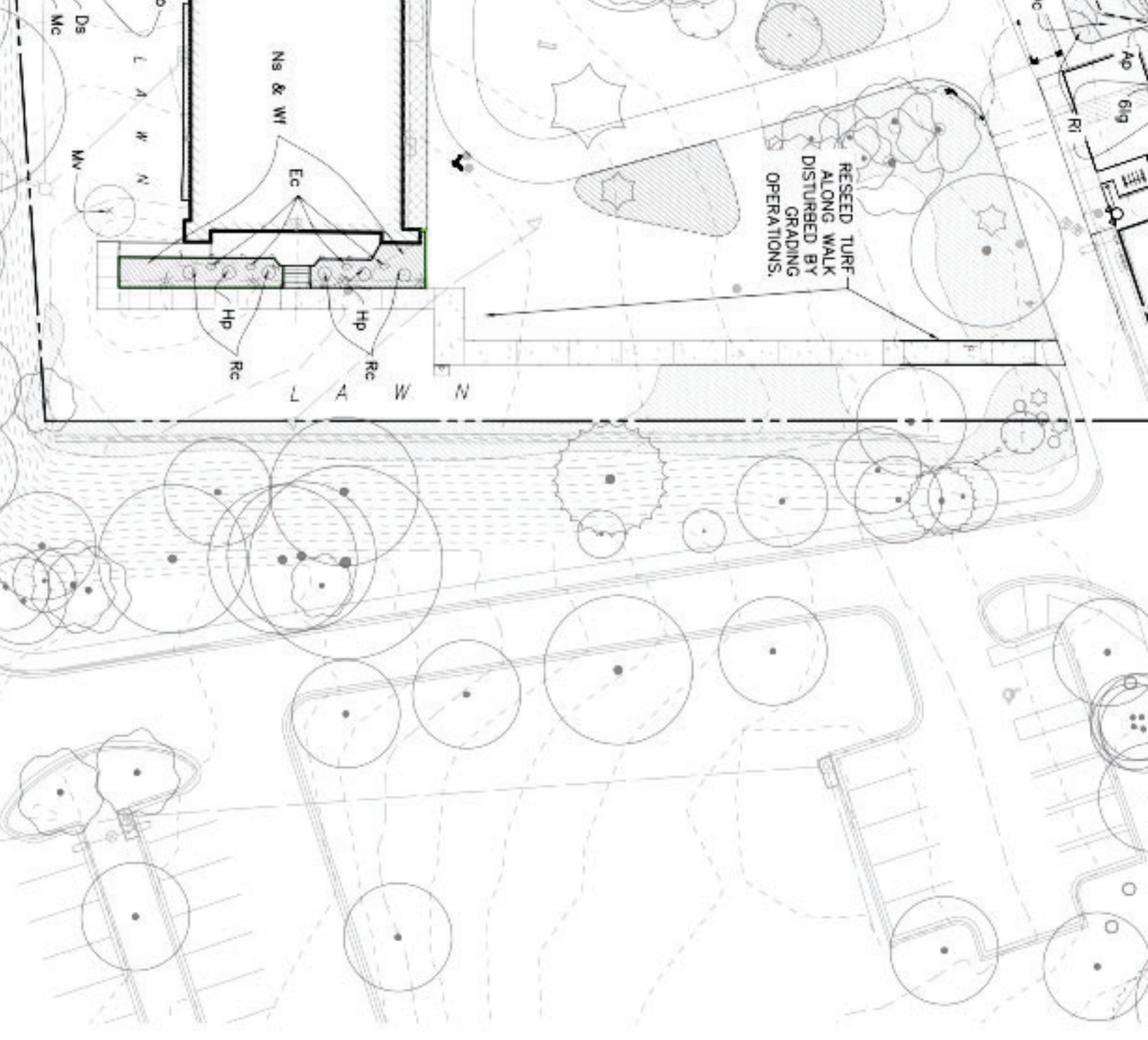
- 2 My Myrica sylvatica
- 1 Qa Quercus alba
- 1 Qp Quercus palustris

SHRUBS

- 2 Ap Aesculus parviflora
- 4 Hv Hamamelis virginiana
- 8 Iq Ilex glabra

HERBACEOUS SPECIES

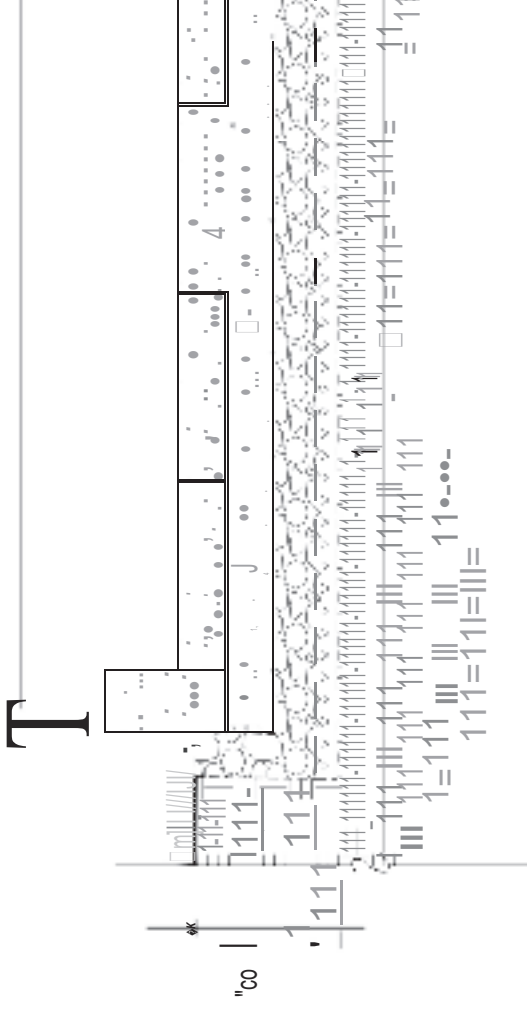
- 31 Av Aristopogon virginicus
- 46 Ep Eupatorium perfoliatum
- 192 Oc Osmunda cinnamomea
- 65 Ri Rudbeckia lactiflora
- 84 Tn Thalictrum flavum
- 52 Va Vernonia noveboracensis



**PLANT MATERIALS LIST (SECTION NO. 2)
CITY KEY SCIENTIFIC NAME**

@ SECTION: CONCRETE BOARDWALK AT GRADE
SCALE: 1 1/2" = 1'-0"

5'-7 1/2"



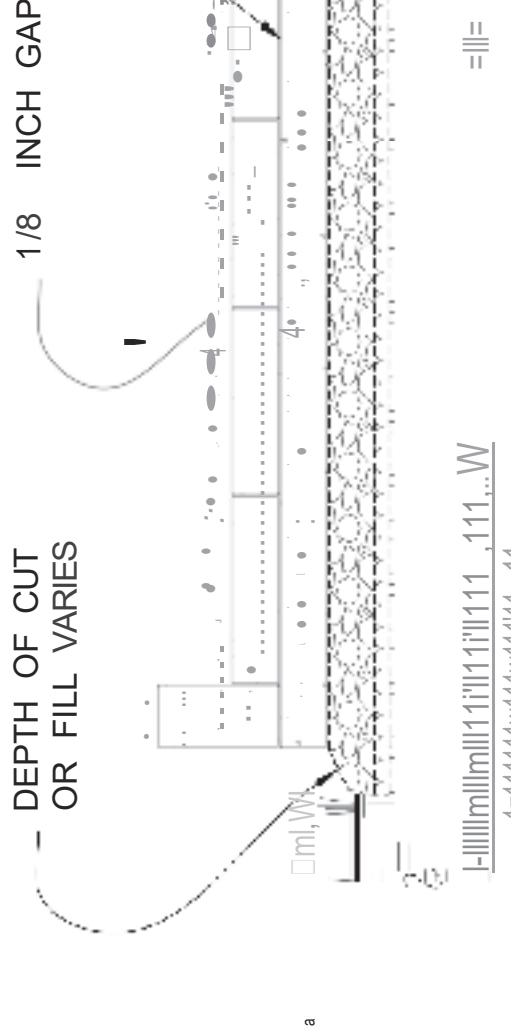
12' LUMBERCON OR APPROVED EQUIVALENT 5,000 PSI CONCRETE CURB AND PLANK MEMBERS TYP.

10" CIP 5,000 PSI FIBER REINFORCED CONCRETE AND TRAFFIC HANDINGS

@ SECTION: SUNKEN CONCRETE BOARDWALK
SCALE: 1 1/2" = 1'-0"

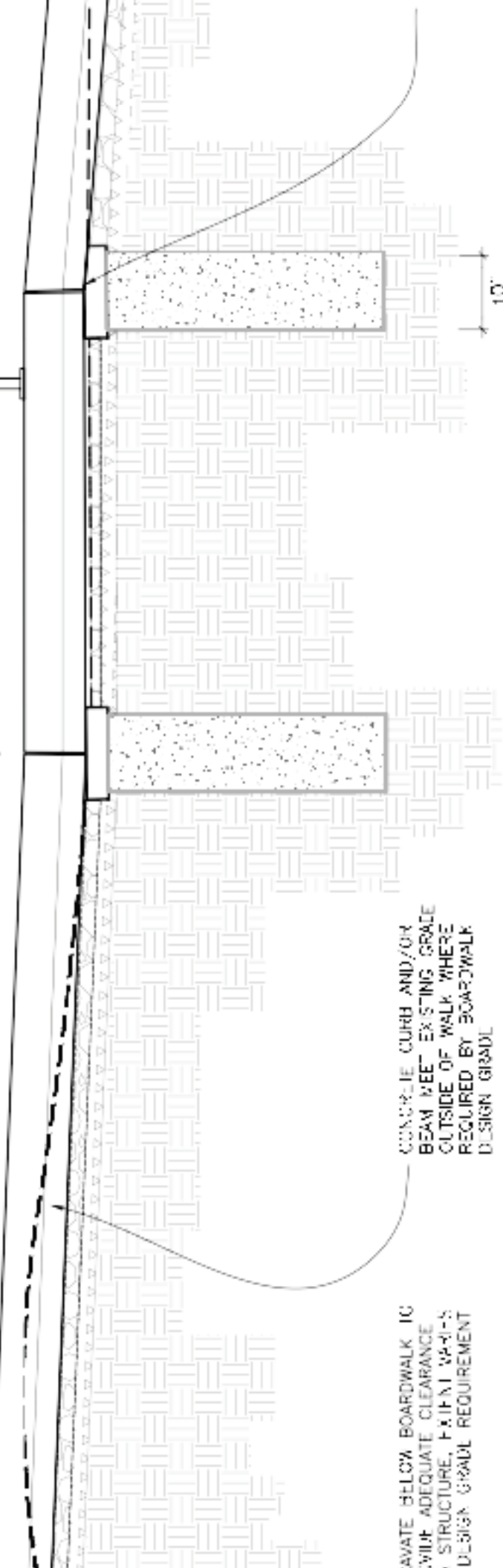
DEPTH OF CUT OR FILL VARIES

1/8 INCH GAP



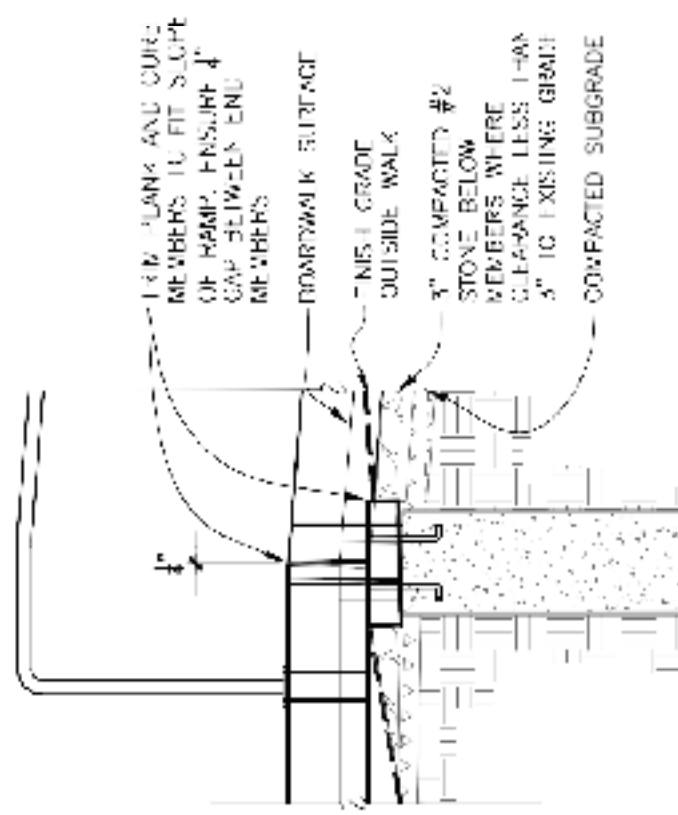
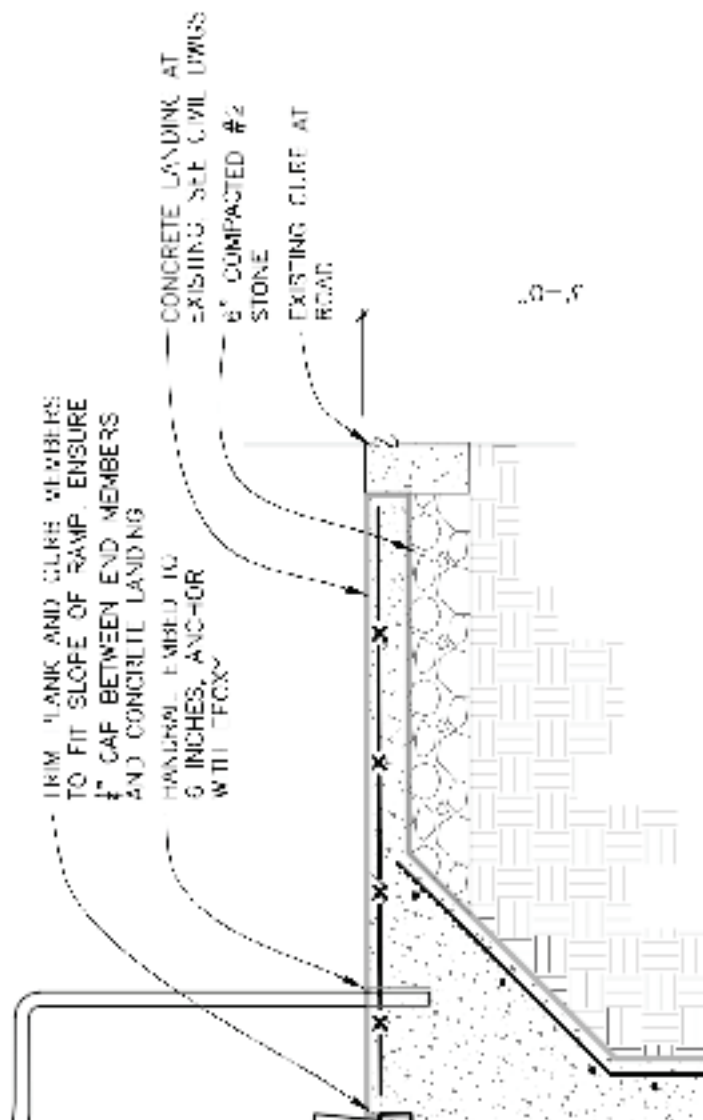
101-st
1-st

LUMBERCON OR

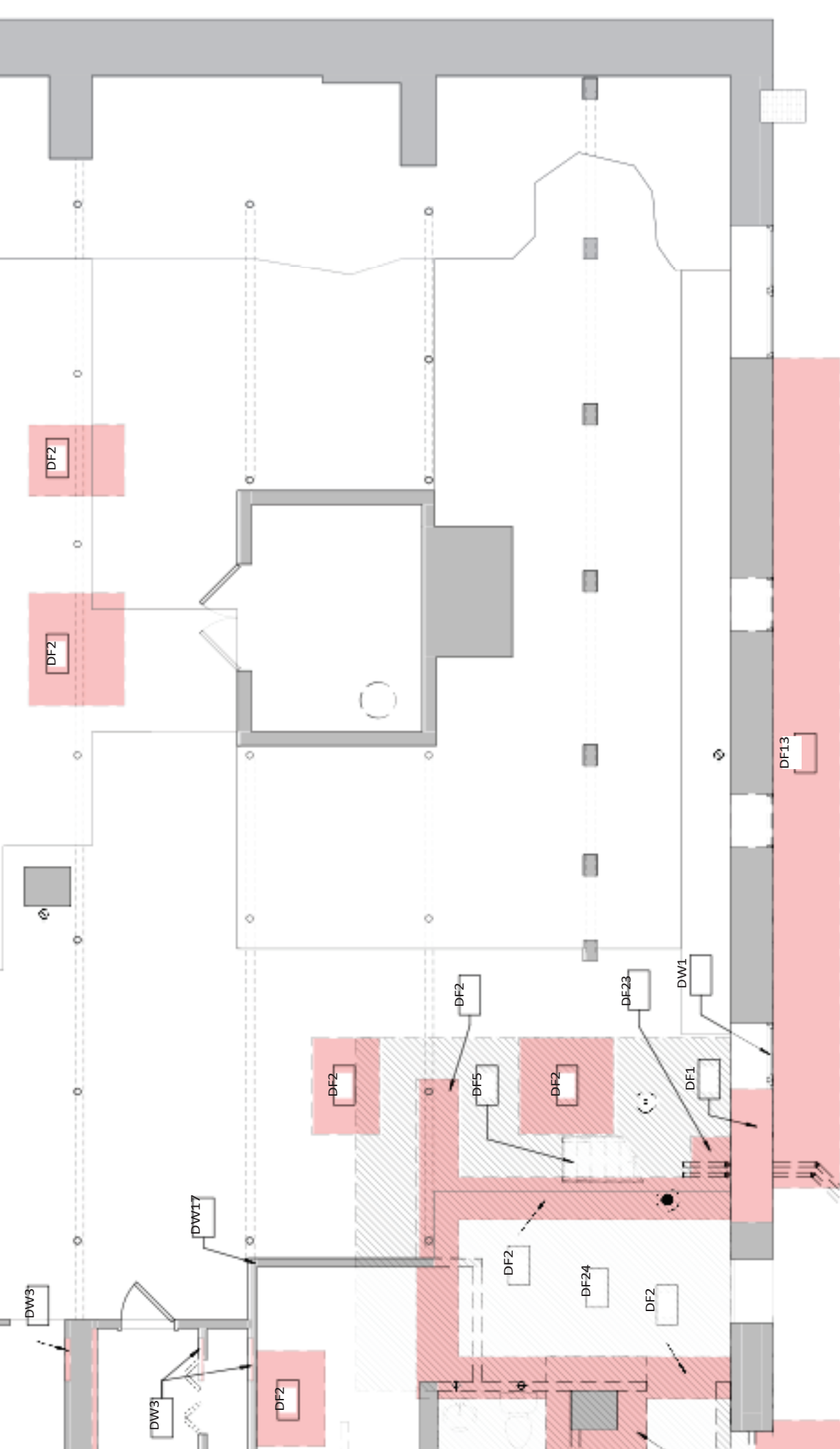


INVERT BELOW BOARDWALK TO
 PROVIDE ADEQUATE CLEARANCE
 TO STRUCTURE. FIX IN VARIOUS
 DESIGN GRADE REQUIREMENT

RAMP

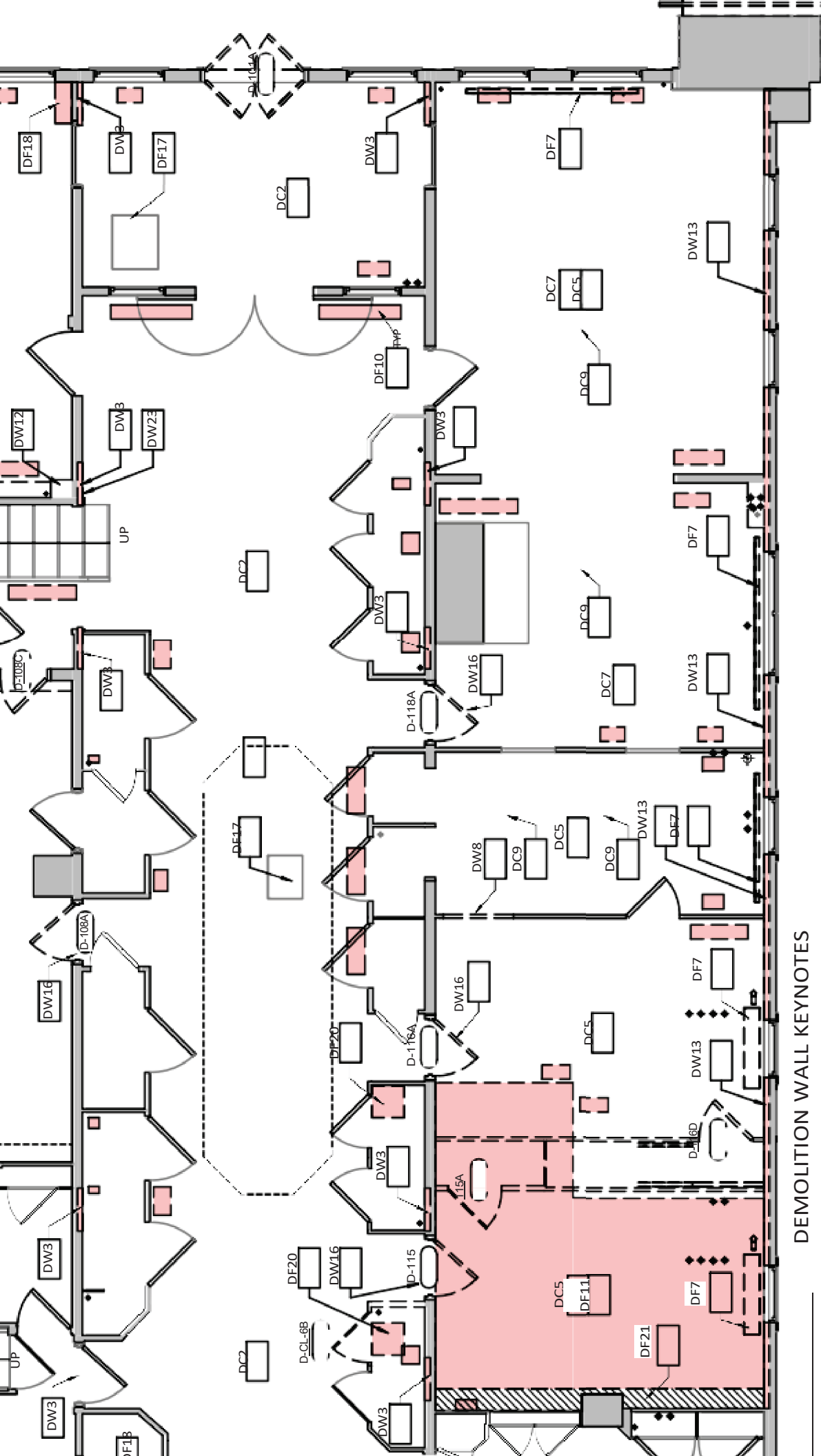


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 11



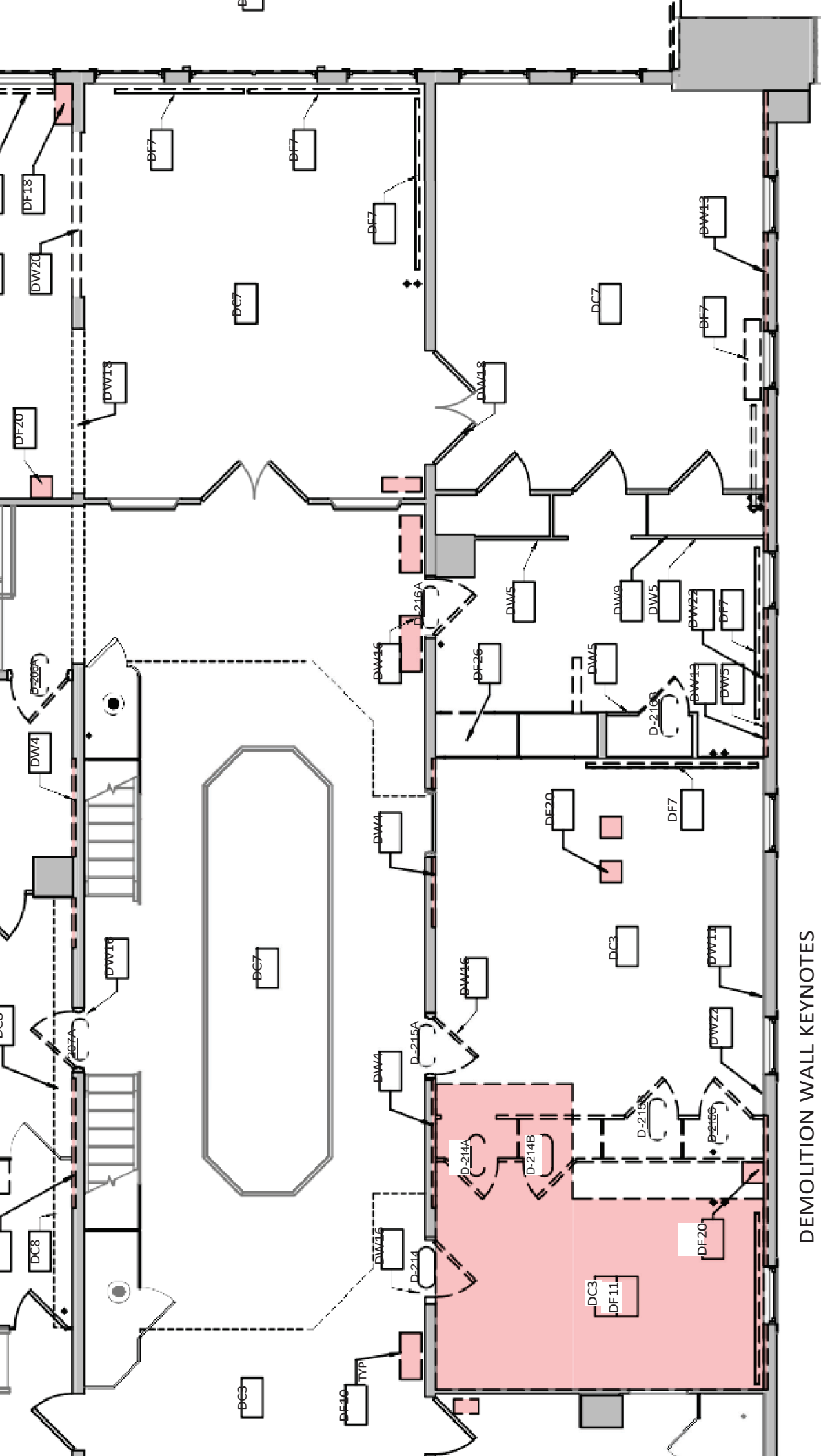
DEMOLITION WALL KEYNOTES

- DW1 REMOVE AND SALVAGE EXISTING WINDOW SASH IN PREPARATION FOR NEW LOUVER INSTALLATION. REFER TO MECHANICAL DRAWINGS.
- DW2 REMOVE AND SALVAGE EXISTING SIDING LAYERS TO INSTALL NEW SHEAR LAYERS. REFER TO PARTITION TYPES, EXTERIOR ELEVATIONS, AND STRUCTURAL DRAWINGS.
- DW3 CAREFULLY DISMANTLE WOOD FINISH BELOW CEILING AND SALVAGE FOR REINSTALLATION. DO NOT REMOVE IF ACCESS IS NOT REQUIRED FOR STRUCTURAL WORK. NOTIFY ARCHITECT PRIOR TO REMOVING FINISH. REFER TO STRUCTURAL DRAWINGS AND INTERIOR ROOM ELEVATIONS.
- DW4 REMOVE AND SALVAGE EXISTING WALL FINISH TO INSTALL ADDITIONAL STUDS. REFER TO STRUCTURAL DRAWINGS.
- DW5 REMOVE WAINGSCOT TILE.
- DW8 CAREFULLY CUT OPENING IN WALL TO ACCOMMODATE NEW TOILET ROOM DOOR AND FRAME.
- DW9 CAREFULLY REMOVE EXISTING WALL BASE COVE TO MITIGATE ASBESTOS MASTIC. REFER TO HAZARDOUS MATERIALS REPORT.
- DW10 CAREFULLY REMOVE EXISTING MUSLIN WALL AND CEILING FINISH (PREVIOUSLY RESTORED) TO MITIGATE ASBESTOS BACKING. REFER TO HAZARDOUS MATERIALS REPORT.



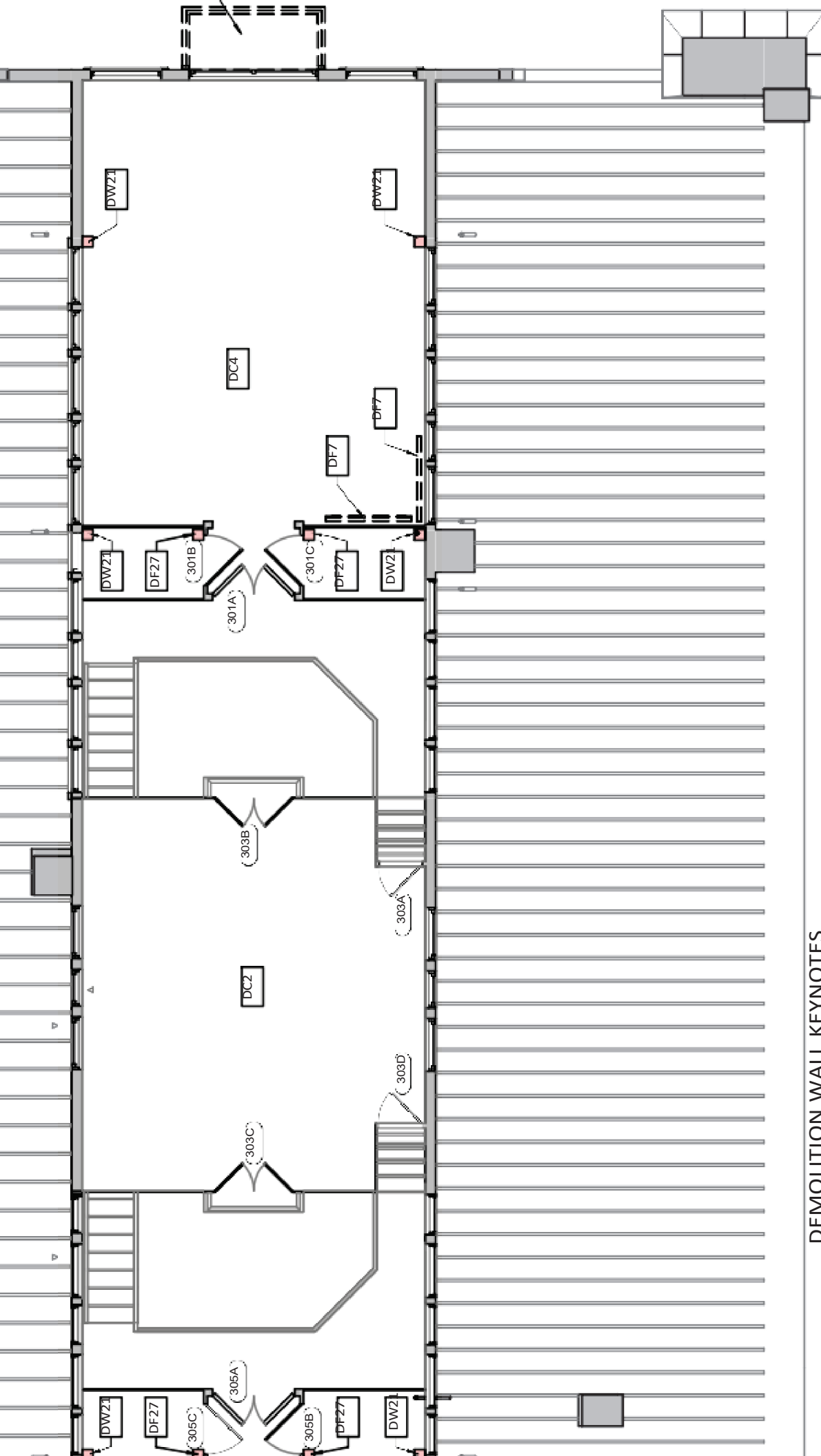
DEMOLITION WALL KEYNOTES

- DW1 REMOVE AND SALVAGE EXISTING WINDOW SASH IN PREPARATION FOR NEW LOUVER INSTALLATION. REFER TO MECHANICAL DRAWINGS.
- DW2 REMOVE AND SALVAGE EXISTING SIDING LAYERS TO INSTALL NEW SHEAR LAYERS. REFER TO PARTITION TYPES, EXTERIOR ELEVATIONS, AND STRUCTURAL DRAWINGS.
- DW3 CAREFULLY DISMANTLE WOOD FINISH BELOW CEILING AND SALVAGE FOR REINSTALLATION. DO NOT REMOVE IF ACCESS IS NOT REQUIRED FOR STRUCTURAL WORK. NOTIFY ARCHITECT PRIOR TO REMOVING FINISH. REFER TO STRUCTURAL DRAWINGS AND INTERIOR ROOM ELEVATIONS.
- DW4 REMOVE AND SALVAGE EXISTING WALL FINISH TO INSTALL ADDITIONAL STUDS. REFER TO STRUCTURAL DRAWINGS.
- DW5 REMOVE WAINGSCOT TILE.
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- DW11 REMOVE EXISTING MUSLIN WALL FINISH TO INSTALL NEW INSULATION. SEE PROPOSED DRAWINGS AND FINISH SCHEDULE FOR NEW FINISH TO BE INSTALLED.
- DW12 REMOVE EXISTING CHASE PARTITIONS FOR INSTALLATION OF NEW SHEAR WALLS.
- DW13 REMOVE EXISTING PLASTER WALL FINISH BELOW CEILING FOR STRUCTURAL CONNECTIONS. DO NOT REMOVE IF ACCESS IS NOT REQUIRED FOR STRUCTURAL WORK. NOTIFY ARCHITECT PRIOR TO REMOVING FINISH. REFER TO INTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS.



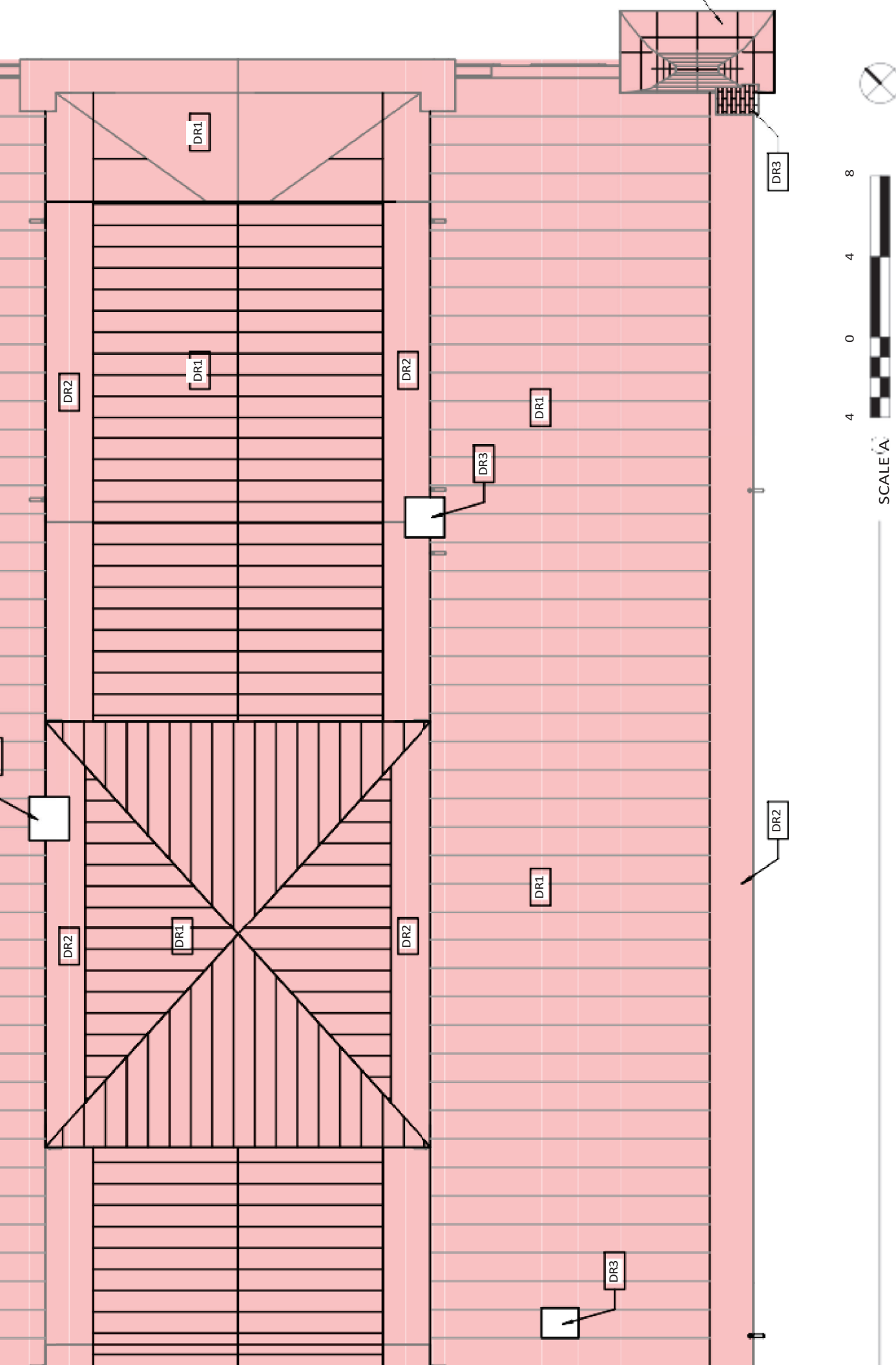
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DEMOLITION WALL KEYNOTES

- | | | |
|---|------|--|
| FRAMING. REFER TO | DW1 | REMOVE AND SALVAGE EXISTING WINDOW SASH IN PREPARATION FOR NEW LOUVER INSTALLATION. REFER TO MECHANICAL DRAWINGS. |
| URE OF A CONSERVATOR DN AFTER STRUCTURAL | DW2 | REMOVE AND SALVAGE EXISTING SIDING LAYERS TO INSTALL NEW SHEAR LAYERS. REFER TO PARTITION TYPES, EXTERIOR ELEVATIONS, AND STRUCTURAL DRAWINGS. |
| EMENT AFTER R REPLACEMENT SCOPE. | DW3 | CAREFULLY DISMANTLE WOOD FINISH BELOW CEILING AND SALVAGE FOR REINSTALLATION. DO NOT REMOVE IF ACCESS IS NOT REQUIRED FOR STRUCTURAL WORK. NOTIFY ARCHITECT PRIOR TO REMOVING FINISH. REFER TO STRUCTURAL DRAWINGS AND INTERIOR ROOM ELEVATIONS. |
| MENT AFTER NG. REVIEW HAZARDOUS | DW4 | REMOVE AND SALVAGE EXISTING WALL FINISH TO INSTALL ADDITIONAL STUDS. REFER TO STRUCTURAL DRAWINGS. |
| TH STRUCTURAL WORK. | DW5 | REMOVE WAINSCOT TILE. |
| D. REFER TO REFLECTED | DW8 | CAREFULLY CUT OPENING IN WALL TO ACCOMMODATE NEW TOILET ROOM DOOR AND FRAME. |
| FTER STRUCTURAL | DW9 | CAREFULLY REMOVE EXISTING WALL BASE COVE TO MITIGATE ASBESTOS MASTIC. REFER TO HAZARDOUS MATERIALS REPORT. |
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SCALE OF FEET

SCALE "A"

E EXISTING DOOR FOR WIDTH MODIFICATIONS TO ACCOMMODATE ACCESSIBILITY. SALVAGE.

E EXISTING DOOR, HARDWARE, AND STOPS. SALVAGE.

E EXISTING DOOR AND HARDWARE. SALVAGE

E EXISTING DOOR AND HARDWARE. SALVAGE

E EXISTING DOOR FROM HINGES. REMOVE STOPS SURROUNDING FRAME. SALVAGE.

E EXISTING DOOR AND HARDWARE. SALVAGE

E EXISTING DOOR AND HARDWARE. SALVAGE

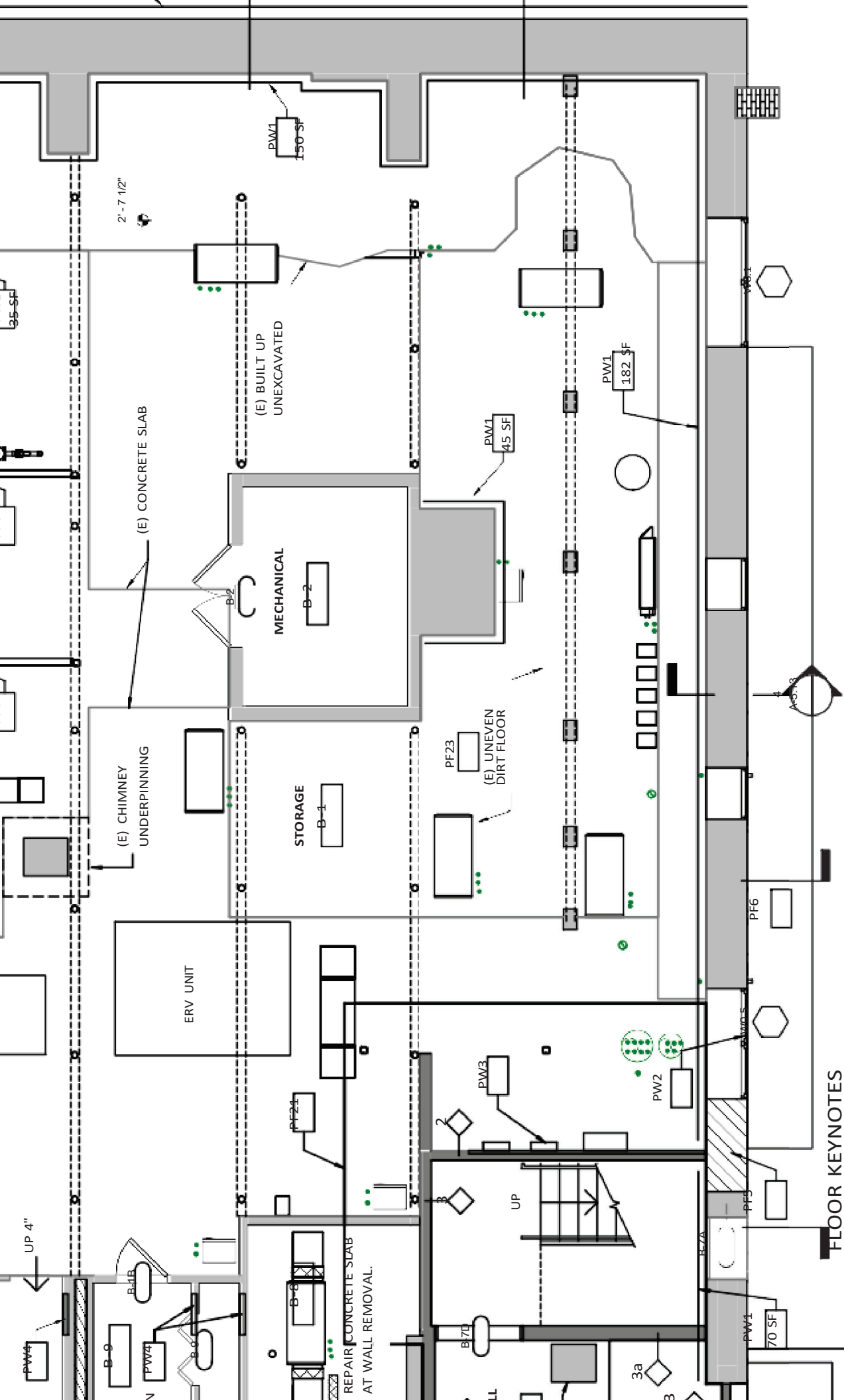
E NON-HISTORIC DAMAGED DOOR FOR REPLACEMENT IN KIND. DO NOT SALVAGE

E EXISTING WOOD BOARD DOOR FOR HEIGHT MODIFICATIONS TO ACCOMMODATE EGRESS.

E EXISTING DOOR AND HARDWARE. DO NOT SALVAGE

E EXISTING DOOR AND HARDWARE. SALVAGE FOR REINSTALLATION. REFER TO PROPOSED FLOOR PLAN.

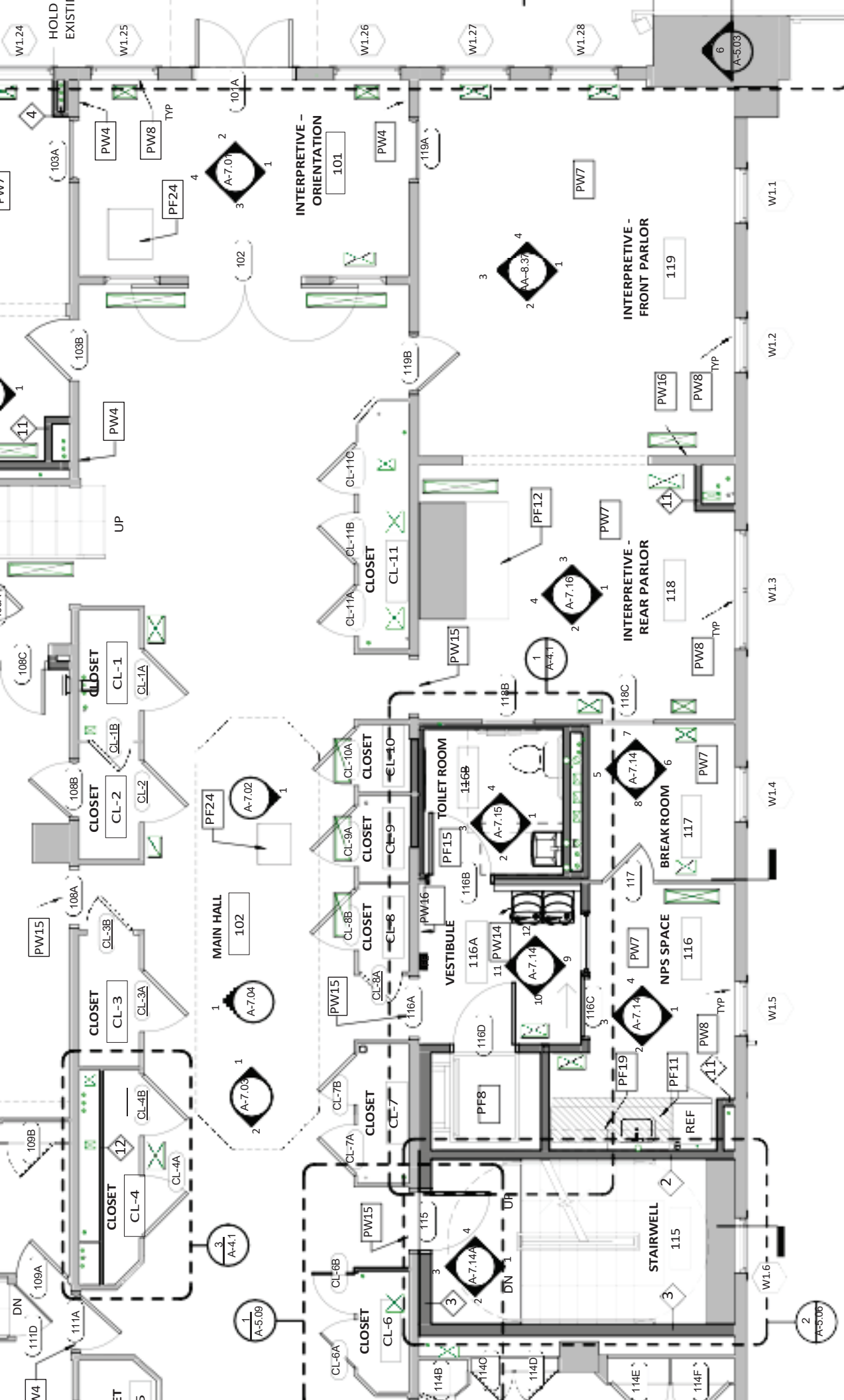
UST BE PHOTOGRAPHED IN PLACE PRIOR TO REMOVAL. THEY SHOULD BE DOCUMENTED ON A DRAWING PLAN, AS WELL AS MARKINGS ON THE DOOR.
ORAGE LOCATION WITH OWNER FOR SALVAGE OF THE HISTORIC DOORS.
S CONTAIN MUSLIN FABRIC ON THE DOOR PANELS, WHICH WAS CHARACTERIC OF CLARA BARTON'S TREATMENT OF DOORS. THESE MUST BE HANDLED WITH EXTREME
EATED AS ARTIFACTS OF THE HOUSE. THE OWNER WILL ADVISE IF ANY SPECIAL PREPARATION FOR STORAGE IS REQUIRED.



FLOOR KEYNOTES

- PF1 NEW PTD STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW AND EXISTING COLUMNS THROUGHOUT BASEMENT.
- PF2 NEW CONCRETE LANDING. REFER TO CIVIL DRAWINGS.
- PF4 NEW PTD STEEL CROSS BRACING. REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
- PF5 INSTALL NEW UNDERPINNING. REFER TO STRUCTURAL DRAWINGS AND DEMOLITION PLANS.
- PF6 INSTALL NEW BRICK PAVERS TO MATCH EXISTING IN KIND. REFER TO LANDSCAPE DRAWINGS.
- PF7 INSTALL (2) POSTS AND BEAM TO SUPPORT BAY. WRAP POSTS AND BEAMS IN PAINTED WOOD TRIM. REFER TO STRUCTURAL DRAWINGS.
- PF8 NEW VERTICAL PLATFORM LIFT. REFER TO ENLARGED PLANS AND SECTIONS IN THE A-5 SHEET SERIES. REFER TO STRUCTURAL DRAWINGS FOR NEW SUPPORT. (OPTION 1)
- PF11 INFILL FLOOR OPENING WITH WOOD FLOOR CONSTRUCTION TO MATCH EXISTING IN KIND. REFER TO FINISH PLANS (A-9 SERIES) AND STRUCTURAL DRAWINGS.
- PF12 REPLACE LOOSE BRICKS IN EXISTING HEARTH.
- PF13 NEW WOOD PORCH, STAIR, AND ACCESSIBLE RAMP. REFER TO THE A-5 SHEET SERIES.
- PF15 NEW ACCESSIBLE TOILET ROOM.

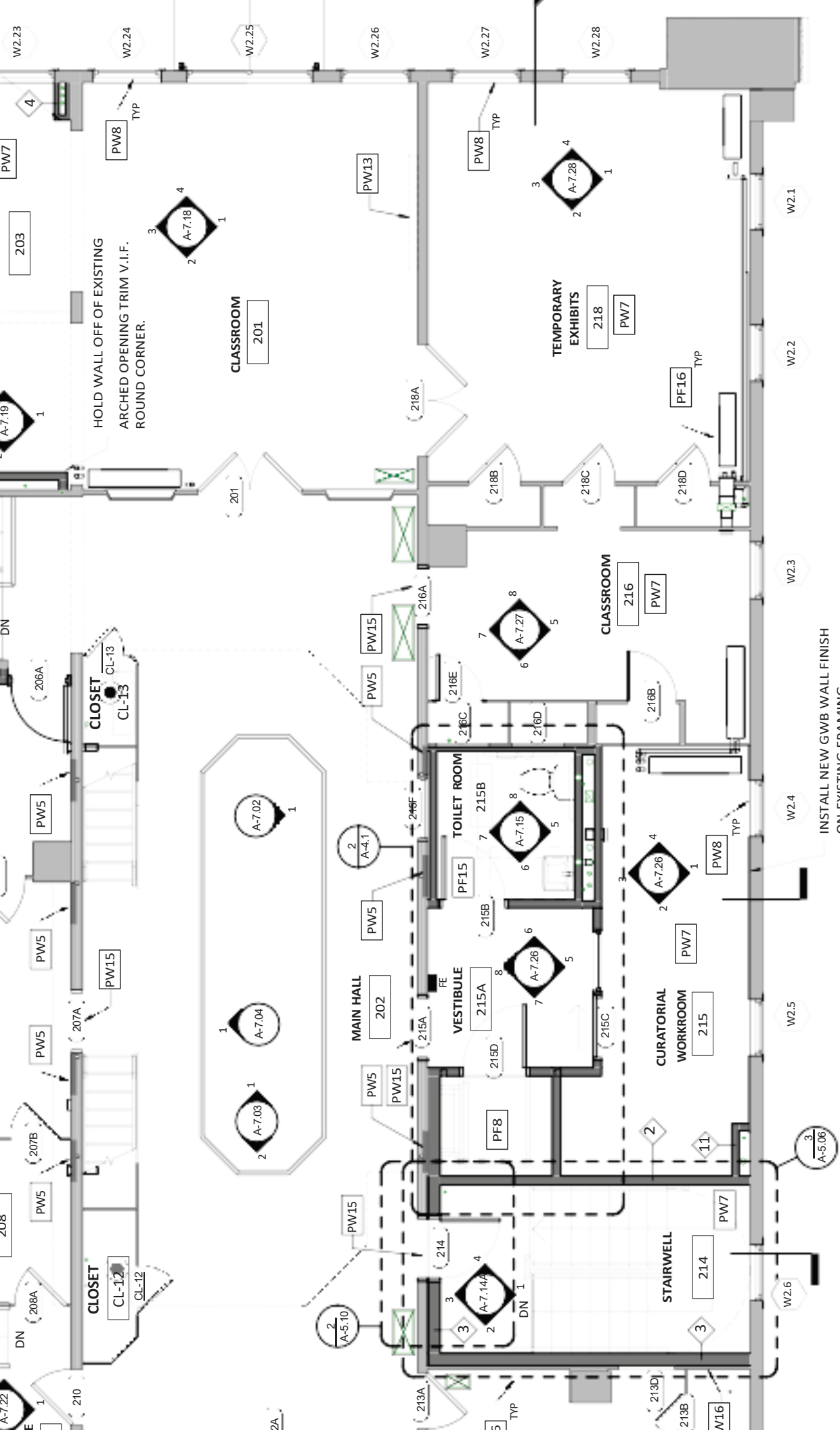
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FLOOR KEYNOTES

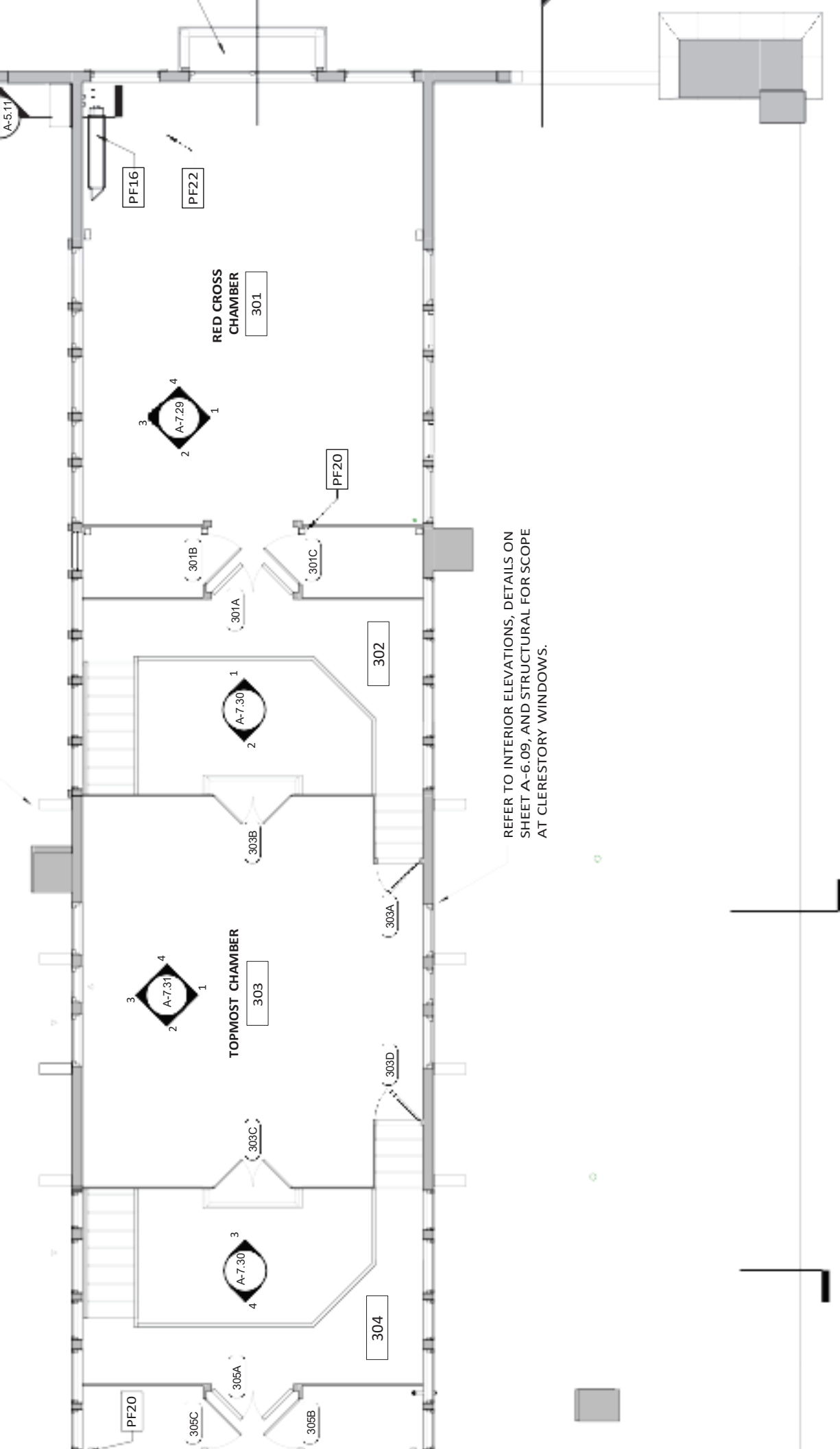
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FLOOR KEYNOTES

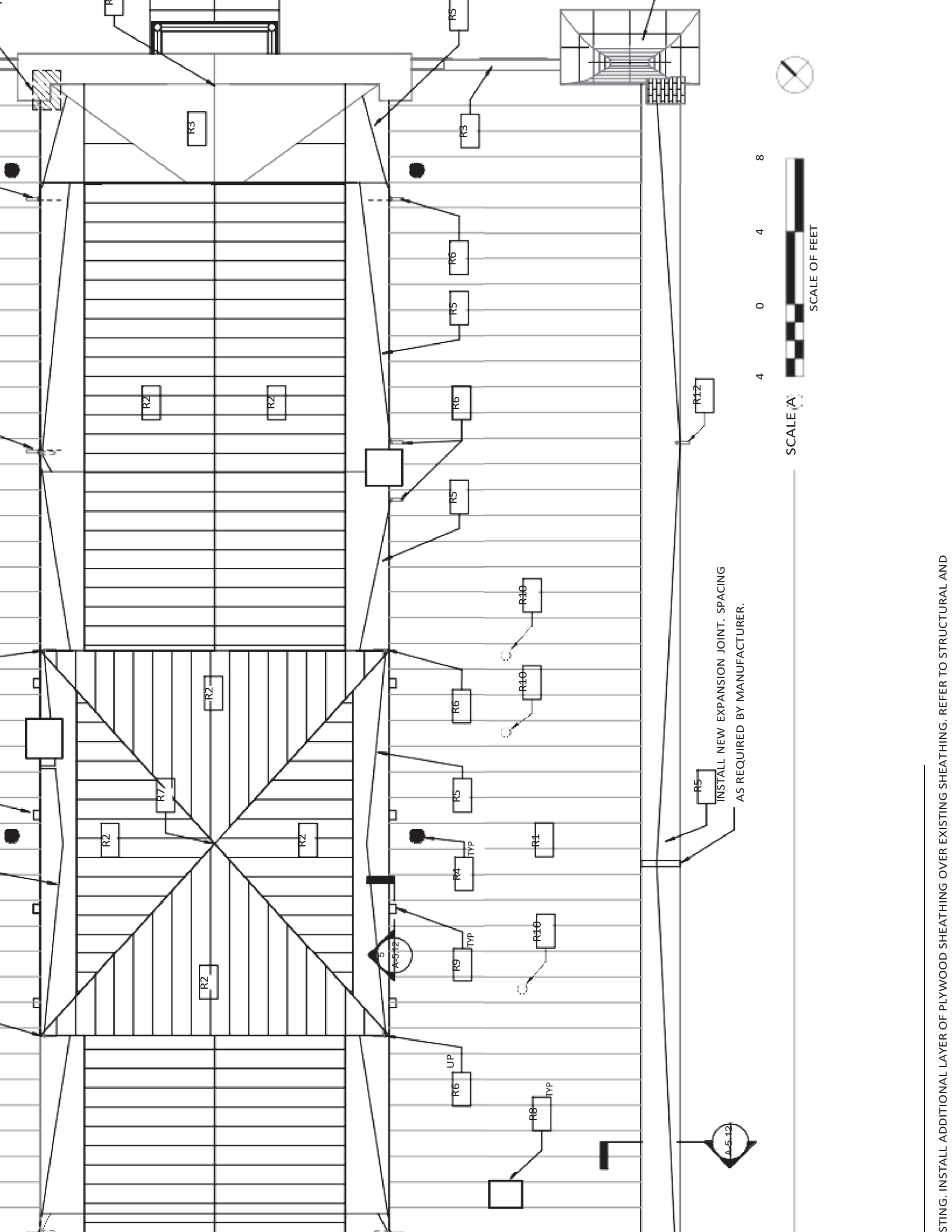
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- PF12 REPLACE LOOSE BRICKS IN EXISTING HEARTH.



REFER TO INTERIOR ELEVATIONS, DETAILS ON SHEET A-6.09, AND STRUCTURAL FOR SCOPE AT CLERESTORY WINDOWS.

FLOOR KEYNOTES

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INSTALL NEW EXPANSION JOINT. SPACING AS REQUIRED BY MANUFACTURER.



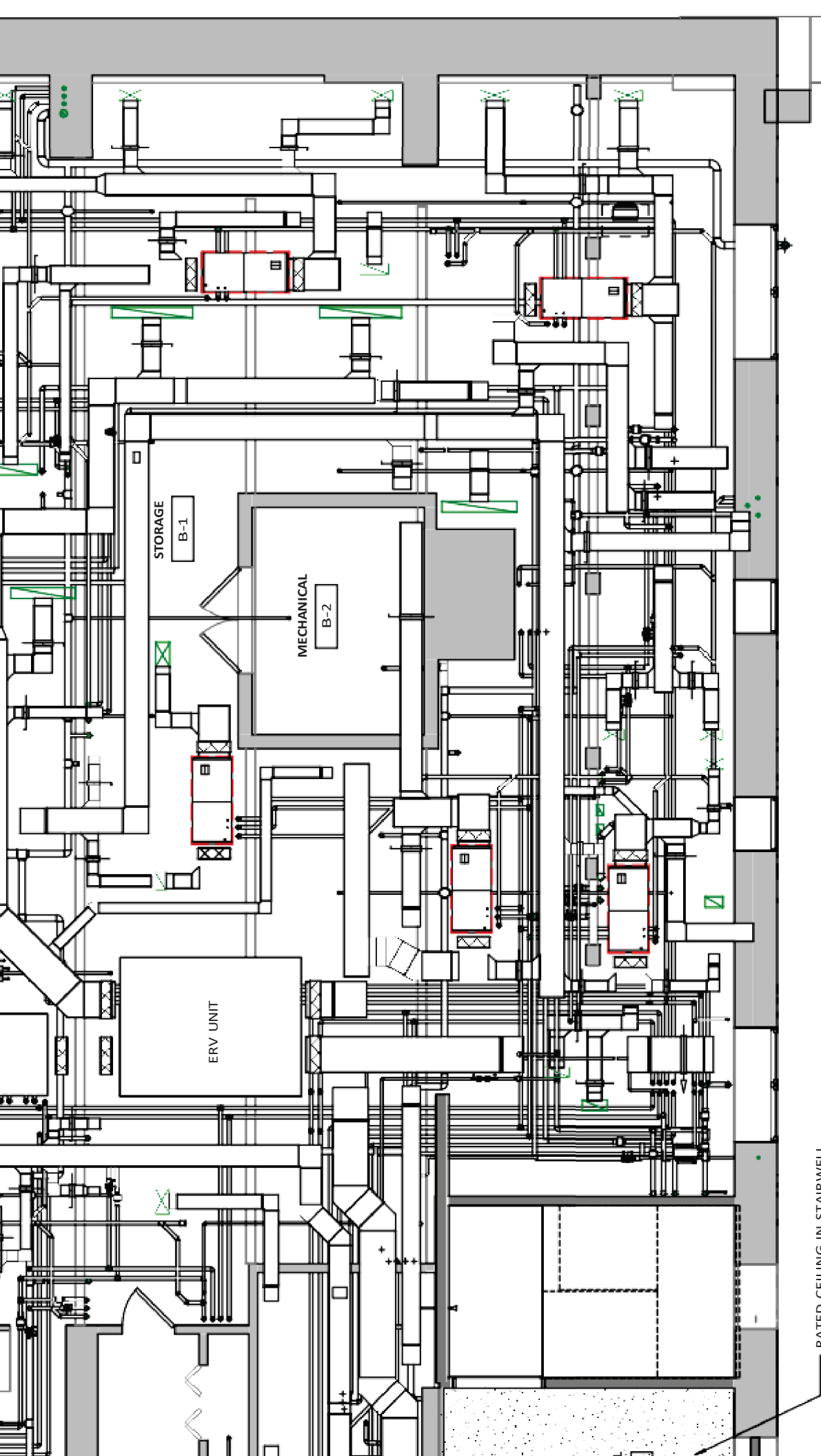
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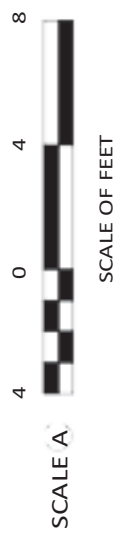
SCALE OF FEET

SCALE: A

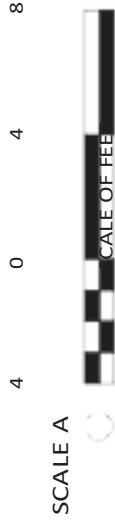
INSTALL ADDITIONAL LAYER OF PLYWOOD SHEATHING OVER EXISTING SHEATHING. REFER TO STRUCTURAL AND



RATED CEILING IN STAIRWELL (B-7) ROOM UNDER EXISTING FIRST FLOOR STRUCTURE

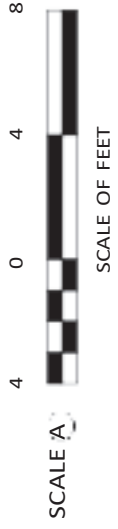
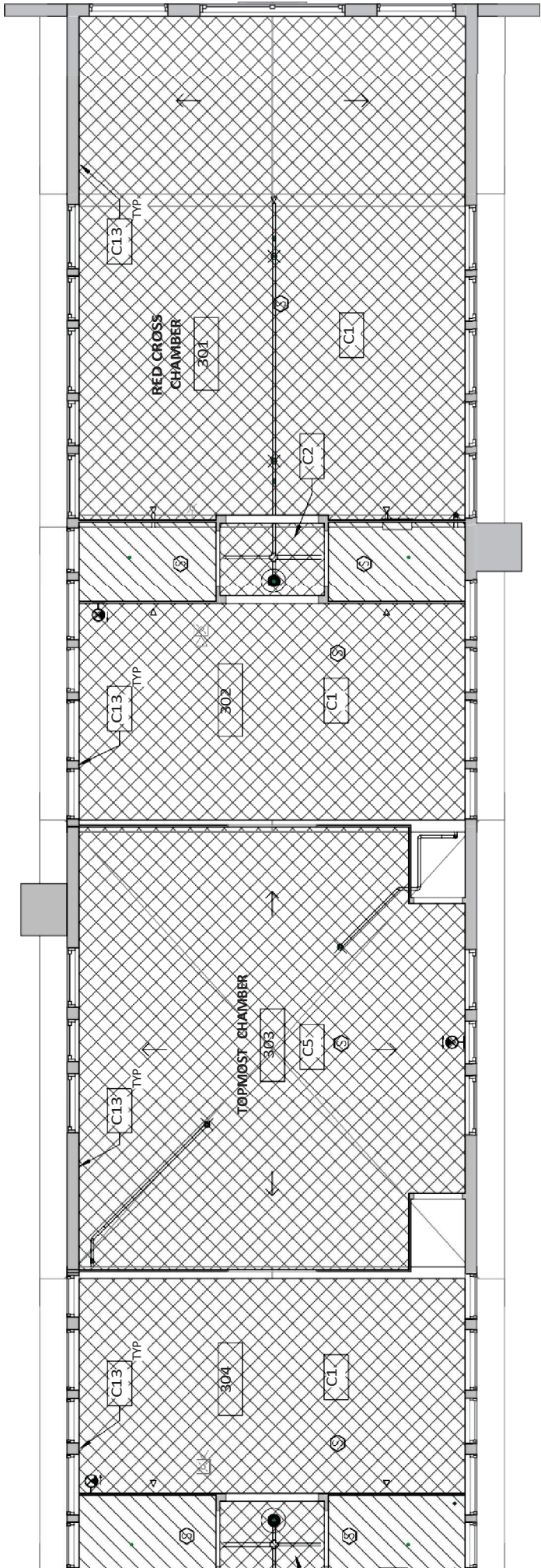


WITH FIRE RETARDANT TREATMENT ON NEW BACKING. ATTACH WITH TACKS TO MATCH EXISTING. REFER TO FINISH SCHEDULE FOR
 WITH TACKS TO MATCH EXISTING. SEE DETAILS ON A-8.7 AND REFER TO SPEC SECTION 097723. SEE OPTIONS #11-15.



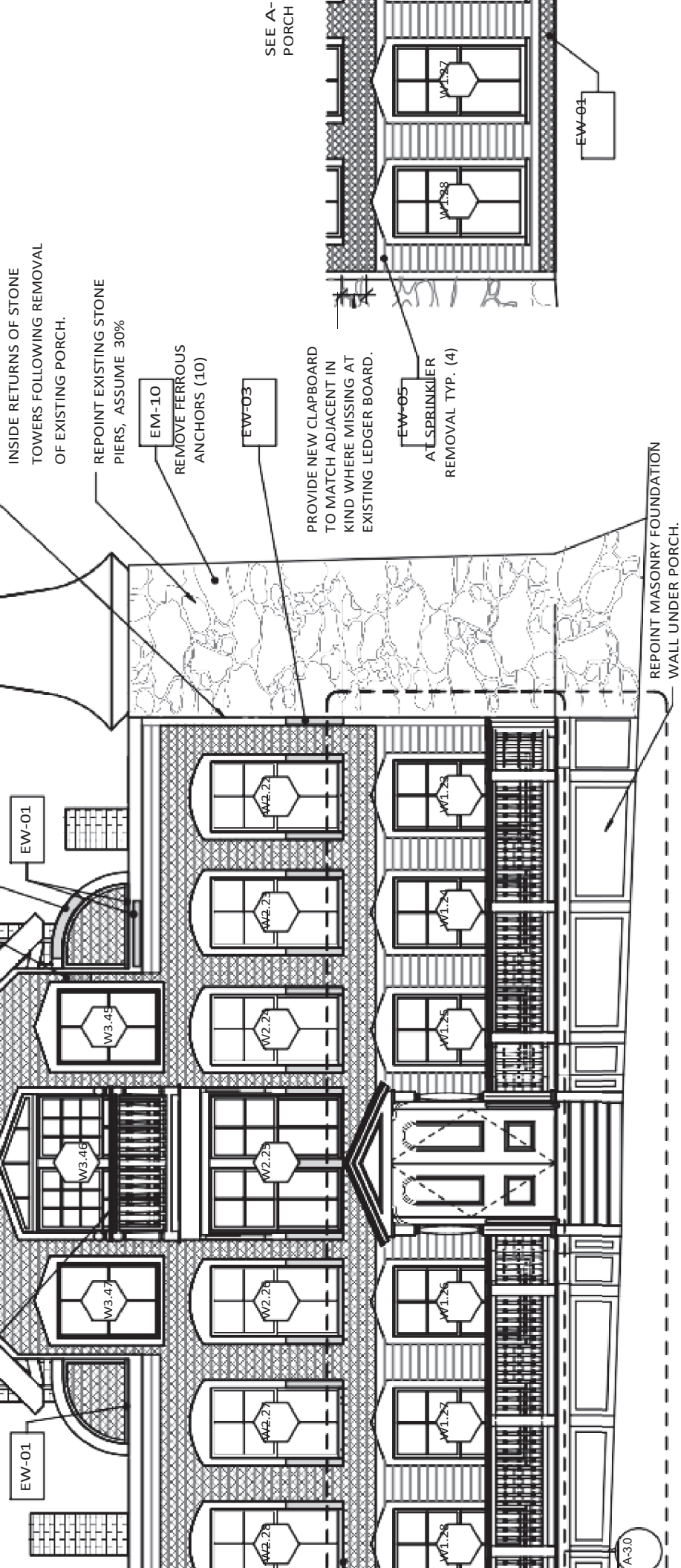
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STORAGE INSTALL REPLACEMENT MISLIN. SEE OPTIONS #11-15.



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NORTH ELEVATION - R

SCALE: 1/4" = 1'-0"

3

GENERAL EXTERIOR TREATMENT NOTES

- FREESTANDING SCAFFOLDS OR VERTICAL ACCESS DEVICES MAY BE UTILIZED. DO NOT ATTACH SCAFFOLDING OR SHORING TO HISTORIC FINISHES WITH PENETRATING FASTENERS. FASTENERS AT THE GROUND LEVEL MUST ATTACH AT MASONRY JOINTS.
- CLEAN FACADE OF BIOLOGICAL GROWTH AND STAINING WITH GENTLEST MEANS POSSIBLE.
- PROVIDE PROTECTION TO OPENINGS WHERE SASH AND SIDING ARE REMOVED DURING CONSTRUCTION. DO NOT FASTEN PROTECTION TO HISTORIC WOOD FINISHES. SUBMIT PROTECTION DESIGN FOR APPROVAL BY ARCHITECT PRIOR TO INSTALLATION.
- WOOD MATERIAL: THE INTENT IS TO RETAIN HISTORIC CLAPBOARD SIDING AND WOOD TRIM WHERE SOUND. WOOD SHOULD BE PROBED TO CHECK FOR ROT OR DETERIORATION BEFORE REPLACEMENT.
 - A. KNOCK OFF LOOSELY ADHERING PAINT, SCRAPE ANY PEELING PAINT, FILL MIINOR HOLES AND SCRATCHES WITH PUTTY OR EPOXY, PREP, PRIME, AND REPAINT FOR 100% OF WOOD MATERIALS. REFER TO SPECIFICATIONS FOR HAZARDOUS MATERIALS. DO NOT REMOVE EXISTING PAINT IF IT IS IN GOOD CONDITION.
 - B. REPAIR ROTTED, LOOSE, AND MISSING CLAPBOARD SIDING, TRIM, BOARD AND BATTENS, AND ORNAMENTAL WOODWORK. FOR MINOR WOOD SPLITS, CHECKS, AND CRACKS, REPAIR WITH PUTTY OR EPOXY PER SPECIFICATIONS. FOR WOOD DAMAGE LARGER THAN 1 SQUARE INCH AND SMALLER THAN 12 SQUARE INCHES, PERFORM WOOD DUTCHMEN.
 - C. FOR REMOVALS OF SIDING, BOARD, AND BATTENS, DOOR AND/OR WINDOW TRIM, CONTRACTOR SHOULD CAREFULLY DOCUMENT

EXTERIOR KEYNOTES

- EW-01 UNIT REPLACEMENT, WITH SALVAGED OR NEW WOOD.
- EW-02 NEW STANDING OR RUNNING TRIM, SALVAGED OR NEW WOOD.
- EW-03 WOOD DUTCHMAN.
- EW-04 REPAIR AND RESET SIDING, SEAL OPEN JOINTS.
- EW-05 PATCH WOOD, EPOXY REPAIRS
- EW-06 APPLY SEALANT AT WOOD OR MASONRY JOINT.
- EM-10 PATCH HOLES IN MASONRY.
- EM-11 REPOINT MASONRY.

INSIDE RETURNS OF STONE TOWERS FOLLOWING REMOVAL OF EXISTING PORCH.

REPOINT EXISTING STONE PIERS, ASSUME 30%

EM-10 REMOVE FERROUS ANCHORS (10)

EW-03

PROVIDE NEW CLAPBOARD TO MATCH ADJACENT IN KIND WHERE MISSING AT EXISTING LEDGER BOARD.

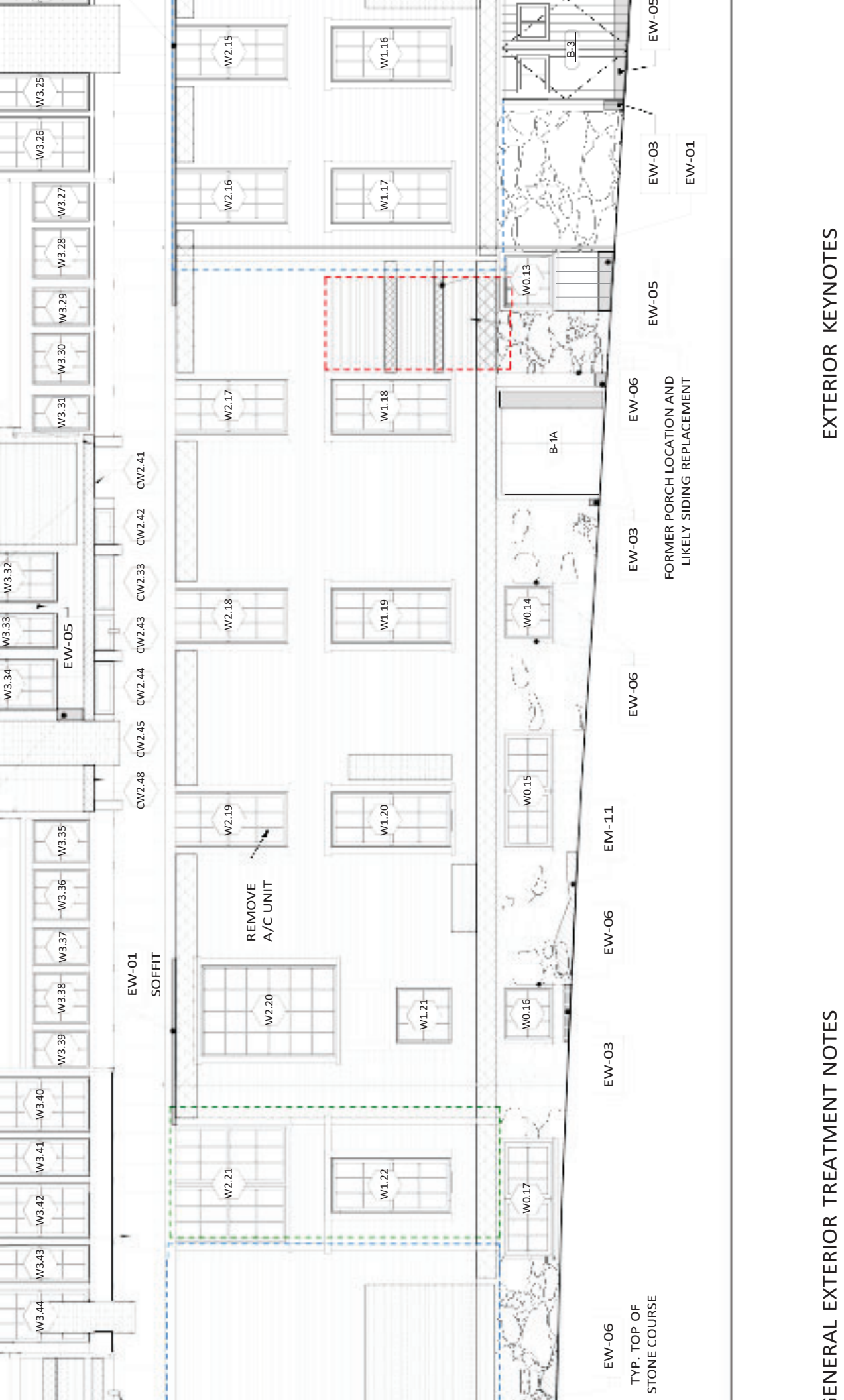
EW-05 A SPRINKLER REMOVAL TYP. (4)

EW-01

REPOINT MASONRY FOUNDATION WALL UNDER PORCH.

A-30

SEE A- PORCH

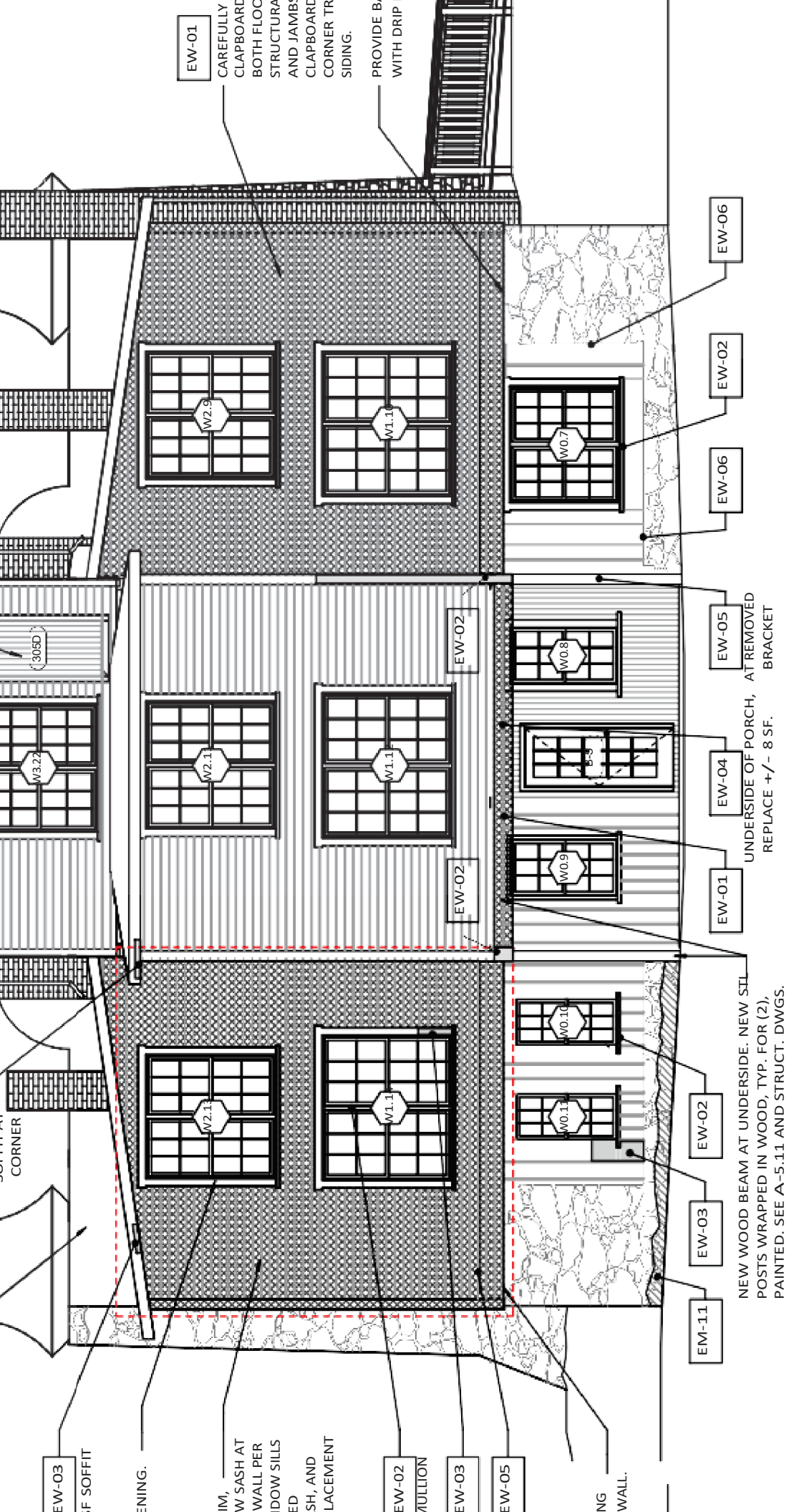


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- CLEAN FACADE OF BIOLOGICAL GROWTH AND STAINING WITH GENTLEST MEANS POSSIBLE. PROVIDE PROTECTION TO OPENINGS WHERE SASH AND SIDING ARE REMOVED DURING CONSTRUCTION. DO NOT FASTEN PROTECTION TO HISTORIC WOOD FINISHES. SUBMIT PROTECTION DESIGN FOR APPROVAL BY ARCHITECT PRIOR TO INSTALLATION.
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EXTERIOR KEYNOTES

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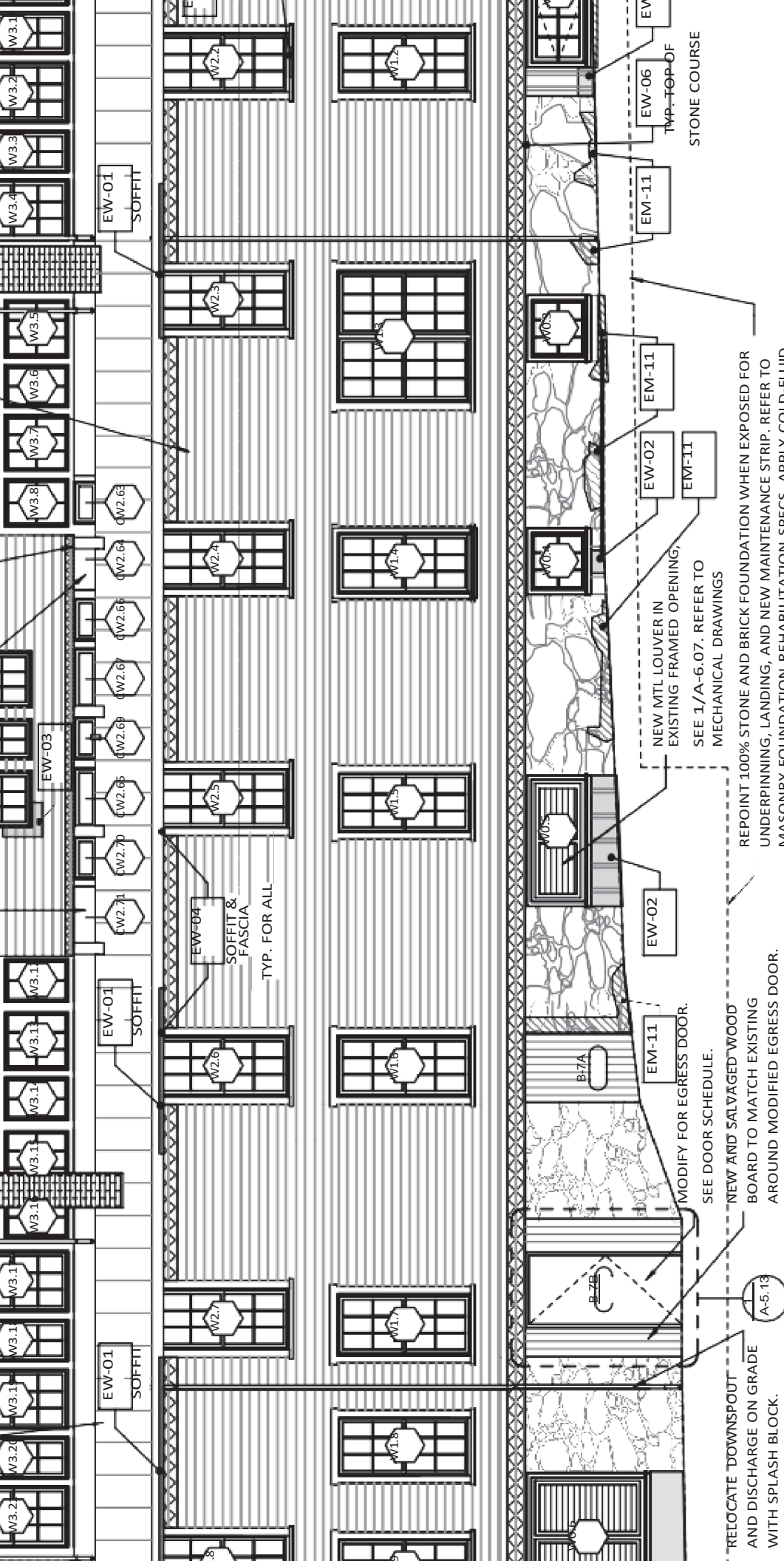


EVALUATION

GENERAL EXTERIOR TREATMENT NOTES

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- EM-11 REPOINT MASONRY.



N

RELOCATE DOWNPOUT AND DISCHARGE ON GRADE WITH SPLASH BLOCK.

MODIFY FOR EGRESS DOOR. SEE DOOR SCHEDULE.

NEW AND SALVAGED WOOD BOARD TO MATCH EXISTING AROUND MODIFIED EGRESS DOOR.

NEW MTL LOUVER IN EXISTING FRAMED OPENING; SEE 1/A-6.07. REFER TO MECHANICAL DRAWINGS

REPOINT 100% STONE AND BRICK FOUNDATION WHEN EXPOSED FOR UNDERPINNING, LANDING, AND NEW MAINTENANCE STRIP. REFER TO MASONRY FOUNDATION REHABILITATION SPECS. APPLY COLD-FLUID APPLIED WATERPROOFING PRIOR TO RE-INSTALLATION OF BRICK MAINTENANCE STRIP AND REGRADING. REFER TO A-5.13 FOR DETAILS.

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